



PALM BEACH COUNTY ZONING APPLICATION STAFF REPORT

ZONING COMMISSION, OCTOBER 3, 2025

A. Application Summary

I. General

Application Name:	Shoppes at Southern Palms, DOA/CA-2024-01790
Control Name:	Southern/Sansbury's MUPD (2007-00018)
Applicant:	Shoppes At Southern Palms, LLC
Owner:	Shoppes At Southern Palms, LLC, 8795 Southern Opco, LLC Patel Southern Properties, LLC, and Nacaja, LLC
Agent:	Dunay, Miskel and Backman, LLP - Scott Backman and Beth Schrantz
Project Manager:	Joyce Lawrence, Senior Site Planner

Title: a Development Order Amendment **Request:** to modify the overall site plan of an MUPD to reconfigure the building and site elements, add a use building and square footage, and amend Condition of Approval, on 24.35 acres

Title: a Class A Conditional Use **Request:** to allow a Type 1 Restaurant with drive-through on 24.35 acres

Application Summary: The proposed requests are for the 24.35-acre Shoppes at Southern Palms Development. The site was last approved by the Board of County Commissioners (BCC) on July 24, 2014, to allow an Expedited Application Consideration to modify Engineering Conditions of Approval.

The subject application proposes a Development Order Amendment (DOA) to reconfigure the site plan to create a new building for a proposed Type 1 Restaurant with drive through and to modify the parking area; a Class A Conditional Use approval to allow a Type 1 Restaurant with Drive Through use, 1,793 square feet (sq. ft.) including 825 sq. ft with 43 seats of covered area for weather protection, and 175 sq. ft for a cooler.

The Preliminary Site Plan (PSP) depicts a total of 217,695 sq. ft. of commercial uses including Retail Sales (198,821 sq. ft.), three Type 1 Restaurants totaling 8,893 sq. ft., one Type 2 Restaurant (Texas Roadhouse) 8,188 sq. ft., and an Automatic Car Wash (4,414 sq. ft.). Other site elements include a retention pond, landscape buffers, and parking spaces (1,022). Access to the site will remain from Southern Boulevard and Sansbury Road.

II. Site Data

Acres:	24.35 acres
Location:	Northeast corner of Southern Boulevard and Sansbury Way
Parcel Control:	00-42-43-32-11-001-0010; 00-42-43-32-11-001-0020 00-42-43-32-11-001-0030; 00-42-43-32-11-001-0040 00-42-43-32-11-001-0070; 00-42-43-32-11-001-0060 00-42-43-32-11-001-0050
Future Land Use:	Commercial High, with an underlying IND (CH/IND)
Zoning District:	Multiple Use Planned Development District (MUPD)
Tier:	Urban/Suburban
Utility Service:	Palm Beach County Water Utilities
Overlay/Study:	N/A
Neighborhood Plan:	N/A
CCRT Area:	N/A
Comm. District:	District 2, Commissioner Gregg K. Weiss

III. Staff Assessment & Recommendation

ASSESSMENT: Staff has evaluated the standards listed under Article 2.B and determined that the requests meet the standards of the ULDC subject to Conditions of Approval as indicated in Exhibits C-1 and C-2.

STAFF RECOMMENDATION: Staff recommends approval of the requests subject to the Conditions of Approval as indicated in Exhibits C-1 and C-2.

PUBLIC COMMENT SUMMARY: At the time of publication, Staff had received no contacts from the public regarding this application.

IV. Hearing History

ZONING COMMISSION: *October 3, 2025*

BCC HEARING: *October 23, 2025*

B. Data & Analysis

The supporting data and analysis is provided within the following Exhibits.

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Exhibit A-1 - Future Land Use Map

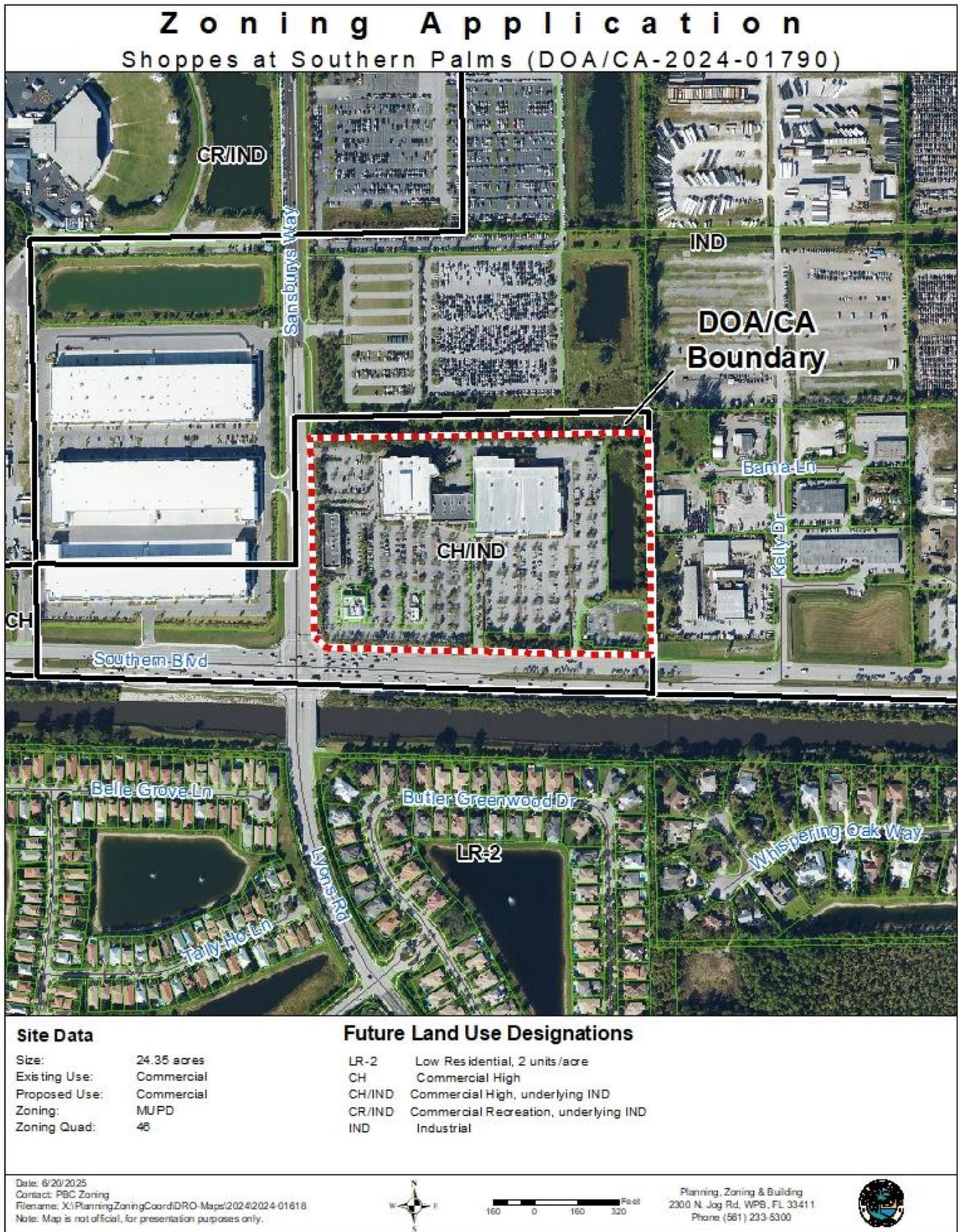


Exhibit A-2 - Zoning Map

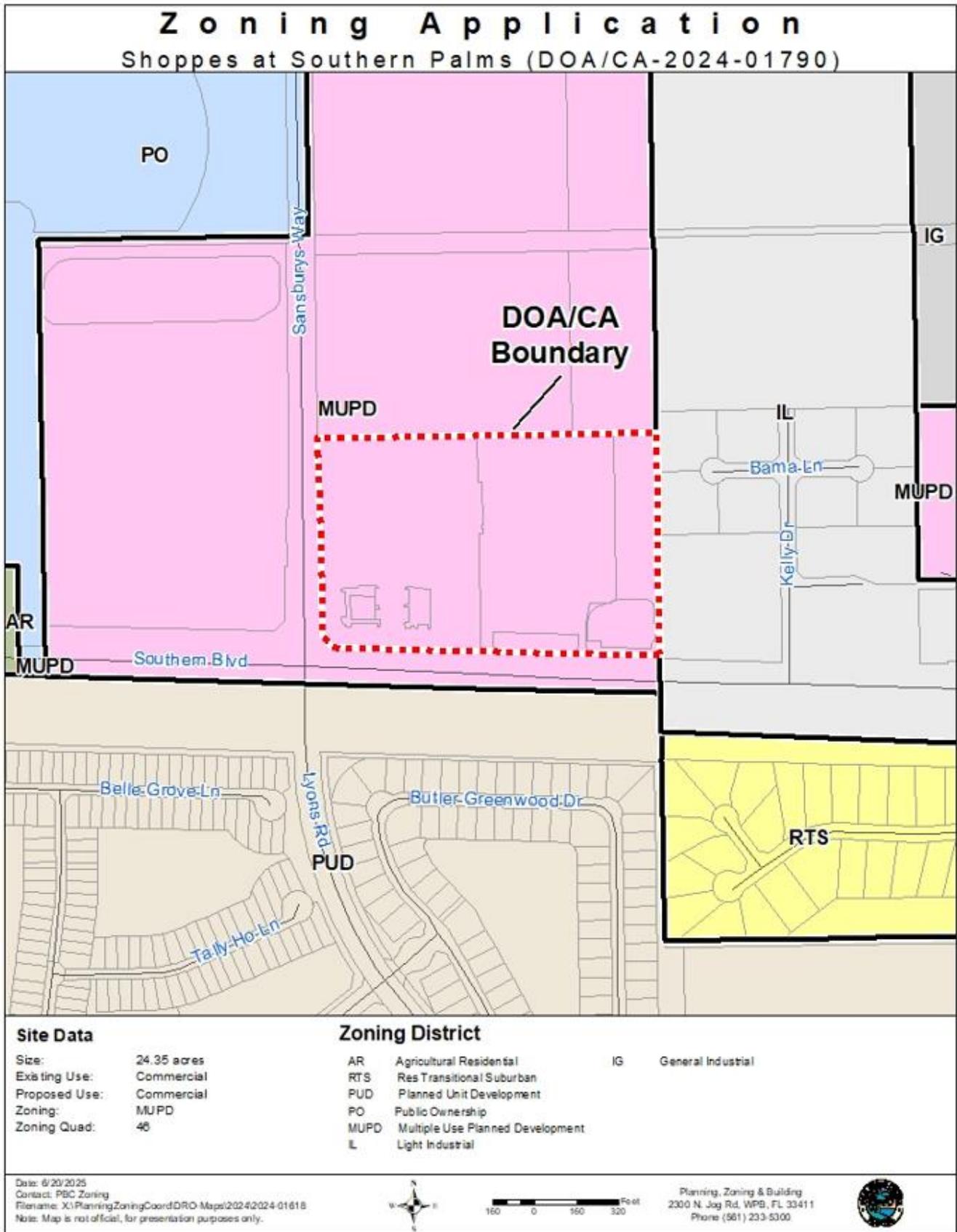


Exhibit B - Standards Analysis & Findings

Conditional Uses, Official Zoning Map Amendment to a PDD or TDD and Development Order Amendment:

Article 2.B.7.B, Standards for Rezoning to a PDD or a TDD, a Conditional Use, or a Development Order Amendment are indicated below with Staff Analysis. A request that fails to meet any of these Standards shall be deemed adverse to the public interest and shall not be approved by the Commission.

- a. Consistency with the Plan** - *The proposed use or amendment is consistent with the purposes, goals, objectives and policies of the Plan, including standards for building and structural intensities and densities, and intensities of use.*

The Planning Division Review Staff were provided with this application for review and provided the following analysis:

○ *Consistency with the Comprehensive Plan:* The proposed use and amendment is consistent with the Goals, Objectives and Policies of the Comprehensive Plan, including previous Land Use Amendments, densities and intensities of use.

○ *Land Use Amendments:* The subject 24.35-acre subject site comprises the eastern portion of a larger, 33.52-acre site that was the subject of a prior Large Scale Future Land Use Atlas Amendment (FLUA) known as Sansbury's-Southern Commercial (LGA 2004-007), which was adopted by the BCC via Ordinance 2004-029 and amended the land use from Industrial (IND) to Commercial High with underlying Industrial (CH/IND) subject to one condition that reads as follows:

1. Development shall be limited to a 0.22 Floor Area Ratio (FAR) for a maximum 321,037 gross buildable square footage for this 33.52-acre site.

The Preliminary Site Plan indicates a total building square footage of 216,278 square feet (sq. ft.) (excluding outdoor dining areas) within the 24.35-acre subject site. This intensity equates to a Floor Area Ratio (FAR) of approximately 0.20 and is therefore consistent with the adopted Ordinance Condition. Further, the Planning Division has previously determined that the Ordinance condition restricting square footage and FAR applies if developing the site under the Commercial High (CH) FLU designation. As such, the remaining acreage subject to the Ordinance on the western side of Sansbury's Way, which is currently developed with industrial warehouses, is not subject to the condition.

○ *Relevant Comprehensive Plan Policies:* The subject site is located within the Urban Suburban Tier and has a Future Land Use (FLU) designation of Commercial High, with an underlying Industrial. Per Future Land Use Element (FLUE) Table 2.2-f.1, Non-Residential Future Land Use - Zoning Consistency, the existing Multiple Use Planned Development (MUPD) Zoning District is consistent with the CH/IND designation.

○ *Intensity:* As previously indicated, the request for 216,278 sq. ft. of commercial uses (excluding outdoor dining areas) equates to a FAR of approximately 0.20 (216,278 sq. ft. / 24.35 acres or 1,060,867 survey sq. ft. = 0.203 or 0.20 rounded). A maximum Floor Area Ratio (FAR) of 0.22 is allowed for the CH FLU designation per the adopted Ordinance condition. The proposed square footage and FAR are therefore below the maximum allowed by this condition.

○ *Special Overlay District/Neighborhood Plan/Planning Study Area:* The site is not located within a neighborhood plan, overlay or plan study area identified by the Comprehensive Plan.

- b. Consistency with the Code** - *The proposed amendment is not in conflict with any portion of this Code, and is consistent with the stated purpose and intent of this Code.*

The proposed requests are consistent with the stated purpose and intent of the County Unified Land Development Code (ULDC).

○ *Property Development Regulations (PDR):* The site has frontage and access on Southern Boulevard thus meeting the frontage and access requirement for a Planned Development. The lot exceeds the minimum 300 ft. of width/frontage (1,290 ft. provided on Southern Boulevard), and exceeds the minimum 300 ft. of depth (857 ft. is provided). The proposed development exceeded the minimum setbacks requirements.

○ *Design Objectives and Performance Standards:* The proposed development is required to be consistent with Article 3.E.1.C.1, PDD Design Objectives. The proposal is also required to be consistent with Art. 3.E.3.B, Objectives and Standards for the MUPD. Objectionable features such as Dumpster Areas and Loading Areas have been adequately screened, as required by Art. 3.E.1.C.1.e, Design Objectives. After reviewing the Preliminary Site Plan, Staff has determined that the proposed development

is in compliance with Design Objectives and Performance Standards for the MUPD. This includes protecting the adjacent uses from adverse impacts and providing interconnection between on-site uses.

o **MUPD Performance Standards:**

- **Nonvehicular Circulation:** With the modification to reconfigure the site plan for building placement, the vehicular and pedestrian circulation is changing. MUPDs are to be designed to provide pedestrian and bicycle oriented circulation throughout the development. Sidewalks are to connect to the sidewalks along adjacent streets. Staff has included a condition (Site Design Condition 1) that requires the site plan to be revised to include pedestrian connections from the proposed Building H to Building F. As required by the PDD Objective and Standards, the proposed development provides adequate pedestrian circulation within the site connecting all buildings, parking areas, and pedestrian pathways for the remainder of the development.
- **Cross Access:** The development was previously approved with no cross access to the north and east. The proposed changes and location of the outparcel do not warrant the creation of cross access.

• **Civic Dedication:** Property Real Estate Management Review Staff were provided with this application for review. They did not provide any comments or conditions that require a dedication for public purposes as a result of the proposed changes.

o **Specific Use Requirements:** The ULDC has incorporated specific supplementary standards for different uses based on their location and potential impacts. The ULDC has incorporated specific supplementary standards for different uses based on their location and potential impacts. These uses have different approval processes based on their FLU, and/or Zoning classifications. The Preliminary Site Plan indicates a total of 215,902 sq. ft. of commercial uses including but is not limited to existing Retail Sales (198,824 sq. ft.), an inline Type 1 Restaurant (2,100 sq. ft.), two (2) Type 1 Restaurants with drive through (2,379 sq. ft., existing and 1,713 sq. ft. proposed), a Type 2 Restaurant (8,188 sq. ft.), and an Automatic Car wash (4,414 sq. ft.).

- **Type 1 Restaurant with drive-through:** The proposed request includes one (1) Type 1 Restaurant with a drive-through for Building H. The PSP indicates a 793 sq. ft. building with outdoor seating area of 825 sq. ft. with 32 seats, and 175 sq. ft. of cooler area.

Type 1 Restaurants are subject to location criteria, which include a maximum of two Type 1 Restaurants at an intersection, and a 500-foot separation between the two uses. The subject parcel is at an intersection, and thus the maximum does apply, as well as the separation. The two (2) Restaurants (existing and proposed) for the site are closer than the 500 feet separation. The Code has an exception to the intersection and separation requirements, if the site complies with enhanced pedestrian circulation, safety and accessibility, and architectural treatment. Below is an aerial with the locations of existing and the proposed Type 1 Restaurants:



○ *Architectural Review:* The proposed Type 1 Restaurant is required to comply with the Architectural Guidelines pursuant to Article 5.C, Design Standards. This application includes submittal of architectural elevations which are required to be consistent with the architectural character of the Shopping Center. The proposed building is approximately 21 feet in height that includes two volumes: 793 sq. ft. ground level structure used for the kitchen and bathrooms, and a second level structure corresponding to a recycled shipping container (Architectural Feature), located perpendicular to the ground level area and used to include signage. There is no usable square footage proposed on this structure. The building is proposed to be finished with concrete cement board horizontal board, metal banding (pre-finished) and stucco horizontal banding, painted with earth tone colors within the orange palette. This structure is proposed to include the design elements and colors of the chain restaurant intended to be located at this site. The east side of the building is the front façade, which contains openings for the customer service windows, access door to the kitchen and bathrooms, and a decorative metallic door that imitates a shipping container. This side of the building also includes the only restaurant seating area which is outdoor and covered, as well as framed by a three (3) feet in height fence. Adjacent to this area to the north is the cooler proposed to be enclosed by a eight (8) feet in height concrete wall intended to integrate with the architecture of the restaurant. This side of the building addresses articulation of the roof line that is created by the shipping container. This side of the building includes mixed material for walls while the top element above the restaurant maintains visible the metallic door of the shipping container.

The south side of the building faces Southern Boulevard and is the narrow side of the structure at ground level which is the wider at the top. The roof line is articulated by the use of 2 plane breaks and exposed steel beams. The shipping container structure at the top, is proposed to be covered with fiber concrete cement board vertical rain screen (1 x 4 Fiber) along with accented vertical banding intended to break blank walls. Entrance is proposed by framing the south pedestrian access point through the use of the shipping container volume that is supported by metallic columns. Architectural compatibility is intended to be accomplished using patterned reveals on concrete cement walls existing in the main buildings of the site, the metal material as in the shipping container, is used in the site by the Dick's Sporting Goods, and the colors are similar as those contained in Dunkin Donuts.

○ *Parking:* The site exists with 1,063 parking spaces. As indicated on the PSP (Exhibit E.1) the Applicant is continuing to utilize the range for the minimum/maximum parking standards for Non-residential uses located within a PDD. A total of 1,022 parking spaces is proposed on the PSP with a range of minimum 870 spaces to a maximum of 1,304 spaces.

○ *Landscape/Buffering:* The PSP indicates the existing 25 ft. Right-of-Way (ROW) buffers along the south and west property lines, a 25-foot wide compatibility buffer to the north, and a 20-foot wide Compatibility buffer to the east. No change is proposed to the existing landscape buffers that are in Code requirements.

○ *Signs:* The Preliminary Master Sign Plan (Exhibit E. 3) provides the details of all existing and the proposed signs that comply with the requirements of Article 8 and Conditions of Approval. The Applicant is proposing 1 additional Outparcel Freestanding Sign (Sign F) on Southern Boulevard. The proposed Sign (F) will be limited to: a Freestanding Outparcel Identification Sign, maximum of six (6) feet in height, and 20 sq. ft. of sign face area for consistency with the typical freestanding outparcel sign detail (A5) that is indicated on the PMSP 1 plan. The Preliminary Master Plan (Exhibit E.3) indicates the location of the proposed sign (Sign F). The proposed Wall Signs are subject to the ULDC, Table 8.G.1.A – Wall Sign Standards. A chart with number of walls signs, dimensions/sq. ft., and the façades of the proposed signs are provided on the PMSP. Additionally, typical elevation diagrams (Building H) with the proposed location of the wall signs are provided on the PMSP-1. The Preliminary Architectural Elevation Plan (Exhibit E.4) also indicates the location of the proposed wall signs on the building's facades.

c. Compatibility with Surrounding Uses - *The proposed use or amendment is compatible and generally consistent with the uses and character of the land surrounding and in the vicinity of the land proposed for development.*

The proposed use and amendment will not create any inconsistency with the uses or the character of the land surrounding the development. Compatibility issues have been addressed under the prior approvals. The surrounding uses to the north, east and west are all commercial uses. To the south of the property is the Southern Boulevard Right of Way, approximately 160 feet wide. Therefore, the proposed use and amendment will not create any compatibility issues with the surrounding properties and uses. The development is separated from surrounding residential to the south by the approximately 160 feet wide ROW for Southern Boulevard.

- d. **Design Minimizes Adverse Impact** – *The design of the proposed use minimizes adverse effects, including visual impact and intensity of the proposed use on adjacent lands.*

The proposed amendment to the overall MUPD to allow an additional outparcel with associated parking and circulation does not propose any adverse effects as presented. The use and visual design of the building is required to be consistent with the existing architecture of the development. The Applicant provided Preliminary Architectural Elevations (PAE) that are in compliance with the ULDC, Art. 5.C. Design Standards, subject to the Conditions of Approval. As indicated on the PAE (Exhibit E.4) and the Visual Impact Analysis (VIA) (Exhibit E.5), the Applicant has incorporated design elements and similar colors in consistency with the existing Shopping Center. See *Architectural Review* summary in Standard b. indicated above for more information on the PAE.

- e. **Design Minimizes Environmental Impact** – *The proposed use and design minimizes environmental impacts, including, but not limited to, water, air, stormwater management, wildlife, vegetation, wetlands and the natural functioning of the environment.*

The Environmental Resources Management Review Staff were provided with this application for review and provided the following analysis:

- o **Vegetation Protection:** The site has been previously developed. There is native vegetation that exists on site that consist primarily of Sabal Palmetto and Quercus Virginiana. Native vegetation that cannot be preserved in place are being either relocated or mitigated.
- o **Wellfield Protection Zone:** This property is not located within Wellfield Protection Zone.
- o **Irrigation Conservation Concerns and Surface Water:** All new installations of automatic irrigation systems shall be equipped with a water sensing device that will automatically discontinue irrigation during periods of rainfall pursuant to the Palm Beach County Mandatory Year-Round Landscape Irrigation Conservation Measures Ordinance, Ordinance No. 2022-007. Any non stormwater discharge or the maintenance or use of a connection that results in a non stormwater discharge to the stormwater system is prohibited pursuant to Palm Beach County Stormwater Pollution Prevention Ordinance No. 93-15.
- o **Environmental Impacts:** There are no significant environmental issues associated with this petition beyond compliance with ULDC requirements.

- f. **Development Patterns** – *The proposed amendment will result in a logical, orderly, and timely development pattern.*

The site has an existing approval for a multiple use commercial shopping plaza. It has been developed in accordance with the last approved site plan, except for the unbuilt Car wash. The Southern Boulevard Corridor has a mix of commercial, but mostly industrial uses on the north side, and residential on the south side, beyond the LWDD canal. The proposed request will create a new outparcel for the Type 1 Restaurant with drive-through. The proposed requests to modify the overall MUPD and the addition of a Type 1 Restaurant are consistent with the development pattern for the area and is logical.

- g. **Adequate Public Facilities** – *The proposed amendment complies with Art. 2.F, Concurrency (Adequate Public Facility Standards).*

TRAFFIC DIVISION:

The Department of Engineering and Public Works Traffic Division provided comments throughout the review of this application. The proposed addition of a Fast-Food Restaurant with Drive-Through and already approved, but unbuilt, Car Wash Facility is expected to generate 452 additional net daily trips, 50 additional net AM peak trips, and 34 additional net PM peak hour trips. Overall, the proposed site is expected to generate 6,913 net daily trips, 305 net AM peak hour trips, and 605 net PM peak hour trips. The build out of the project is assumed to be by 2028.

Some of the links and intersections in the vicinity will have background failures in the build-out year, without the project traffic. However, necessary improvements to correct the background deficiency will also accommodate the proposed project traffic by meeting the adopted Level of Service (LOS) standards. The site has multiple driveways on Southern Blvd and Sansbury's Way with all required turn lanes already in place.

ADJACENT ROADWAY LEVEL OF SERVICE (PM PEAK)

Traffic volumes are in vehicles per hour

Segment: Southern Blvd from Sansburys Way to Benoist Farms Rd

Existing count: Eastbound=2792, Westbound=3403

Background growth: Eastbound=783, Westbound=739

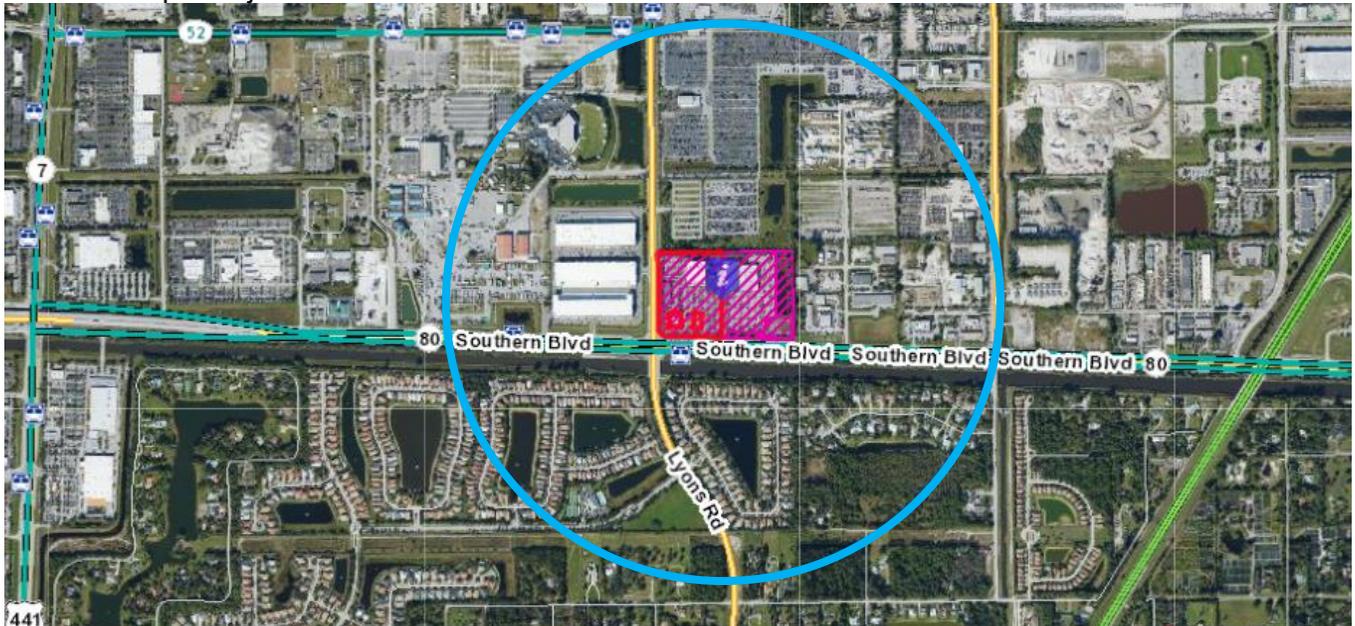
Project Trips: Eastbound=5, Westbound=5

Total Traffic: Eastbound=3580, Westbound=4147

Present laneage: 4 in each direction
Assured laneage: 4 in each direction
LOS "D" capacity: 3940
Projected level of service: LOS D or better in the eastbound direction but worse in the westbound direction

MASS TRANSIT:

Palm Tran Review Staff were provided with this application for review. During the review they provided no comments. The site is directly adjacent to Route 80 which runs east west along Southern Boulevard. One bus stop is adjacent to the site.



LAND DEVELOPMENT:

The Department of Engineering and Public Works Land Development Division provided comments throughout the review of this application and requested modifications have been incorporated by the Applicant. The site is located within the jurisdictional boundaries of Lake Worth Drainage District (LWDD) and South Florida Water Management District (SFWMD). The shopping center has a master surface water management permit from SFWMD and the proposed improvements will be required to meet the water quality and quantity requirements of the existing permit. The site is currently a parking lot and is paved, the redevelopment will provide more green space within the parcel and will reduce the runoff and water quality requirements. Existing drainage pipes will be rerouted, providing new inlets and conveyance pipes to tie into the existing system, no additional drainage improvements will be required. Legal Positive Outfall for the project is provided through the master system for the shopping center that has a permitted outfall to the LWDD L-4 canal. The property associated with the application was found to comply with the regulations and code requirements of the ULDC under the authority of the Land Development Division. The Property Owner shall abandon or release, and relocate if necessary, any and all easements shown in conflict with the proposed structures.

DRAINAGE DISTRICT:

The site is located within the jurisdictional boundaries of Lake Worth Drainage District (LWDD) and South Florida Water Management District (SFWMD). Lake Worth Drainage District (LWDD) Review Staff were provided with this application for review. During the review they had the following comment, “The proposed project is located in the Shoppes at Southern Palms Plaza shopping center at the northeast corner of Sandsbury’s Way and Southern Blvd. in unincorporated Palm Beach County.

The proposed development will be in compliance with the storm water criteria set forth in master permit for the shopping center. The project will reduce the overall impervious area within the shopping center. Given the above, the proposed development will not adversely impact the existing shopping center or the surrounding properties.” The Applicant’s Engineer provided a Drainage Statement in Exhibit E. 8.

WATER AND WASTEWATER PROVIDER:

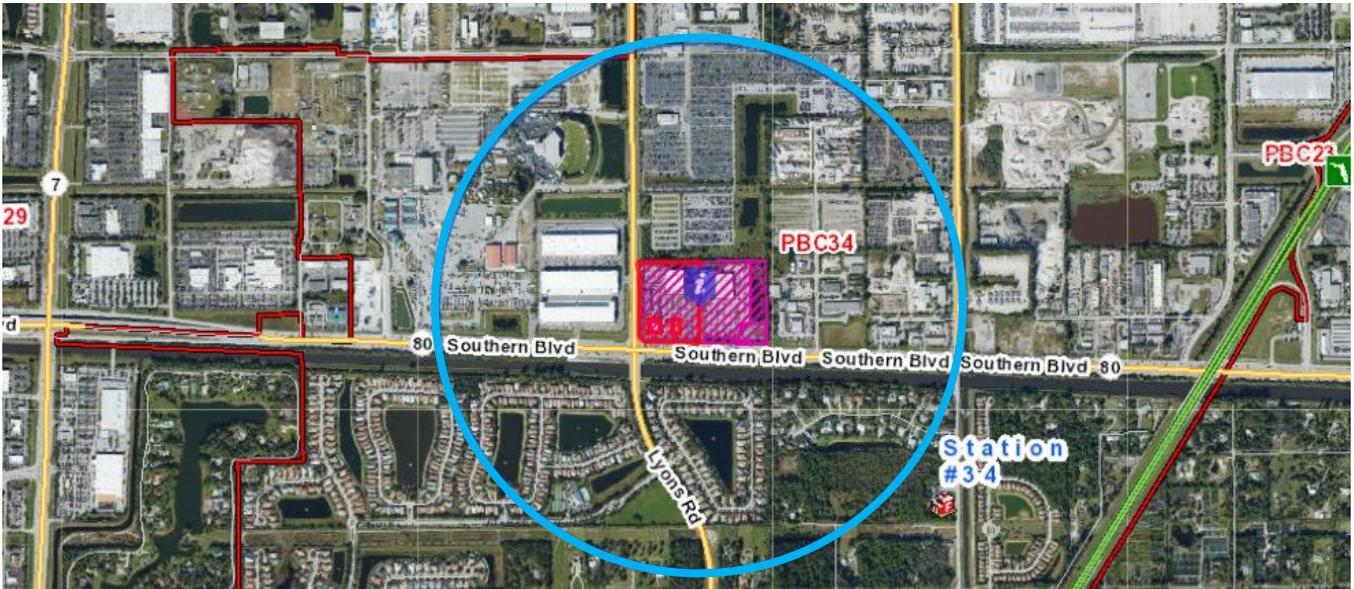
The subject site is within the water and wastewater service boundaries of the Palm Beach County Water Utilities Department (PBCWUD). The Palm Beach County Water Utilities Department (PBCWUD) Review Staff were provided with this application for review. They provided comments during the review in which the Applicant addressed or acknowledged. A Concurrency Reservation was approved by PBCWUD Staff. (Exhibit E.9)

PALM BEACH COUNTY HEALTH DEPARTMENT:

The Health Department Review Staff were provided this application for review. They provided the following comment, “The Florida Department of Health has no objections to this project.”

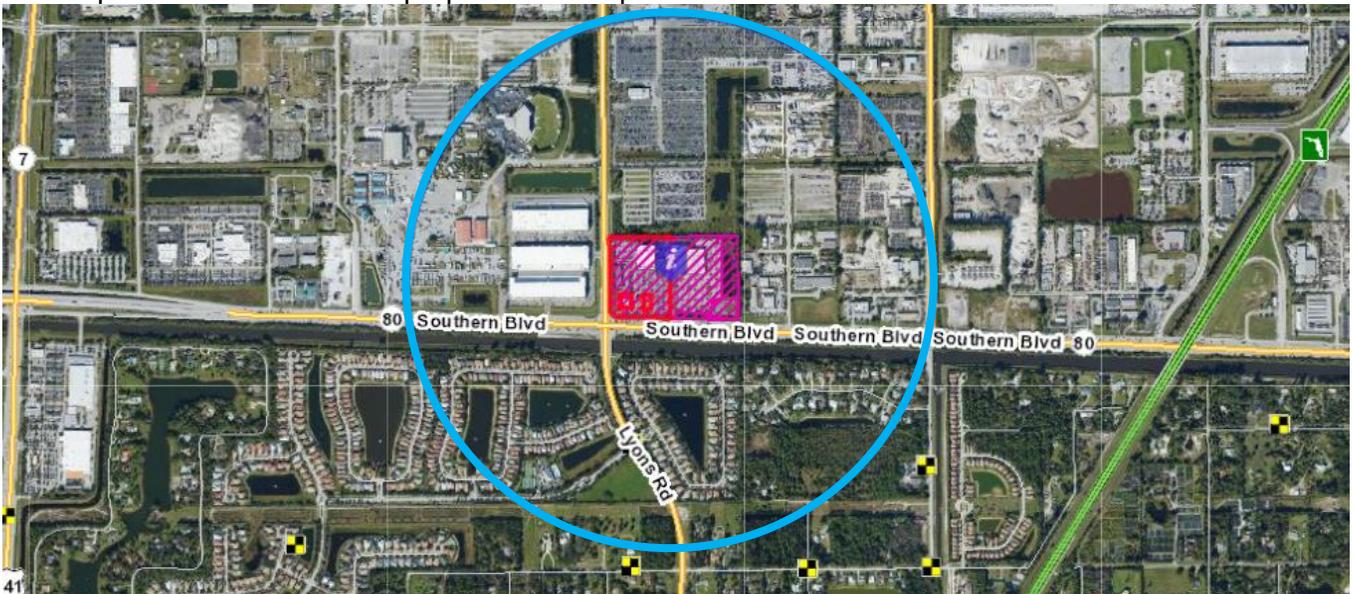
FIRE PROTECTION:

Fire Rescue Review Staff were provided with this application for review. During the review they had no comments. The development is within the service boundary of Palm Beach County Fire Rescue Station # 34.



SCHOOL IMPACTS:

The PBC School District Review Staff were provided with this application for review. During the review they stated, "The School Board has no comment regarding this non-residential application." There are no bus stop within a 1/2 mile of the proposed development.



PARKS AND RECREATION:

The Parks and Recreation Department Review Staff were provided with this application for review. During the review they stated, "This is a non-residential application, therefore Park and Recreation Department ULDC standards do not apply."

h. Changed Conditions or Circumstances – There are demonstrated changed site conditions or circumstances provided by the Applicant’s Justification Statement that necessitate the amendment.

The Applicant’s Justification Statement indicates the following justification for their changed conditions of circumstances: "There are changed conditions or circumstances that necessitate the Project. With the advent of online shopping and changes to the retail marketplace accelerated by the impacts of the Coronavirus, commercial shopping centers no longer generate the same parking demand as yesteryear. As such, the proposed development area is currently underutilized parking that serves no benefit to the community. Further, as household make-up has shifted over the 2nd half of the last century, there are a greater number of households that require a diverse range of convenient dining options. As such, conversion of an unused parking area to an active restaurant use will provide an additional service to County residents."

Exhibit C-1 - Conditions of Approval

Development Order Amendment on 23.45 acres

ALL PETITIONS

1. Previous ALL PETITIONS Condition 1 of Resolution R-2014-1103, Control No.2007-00018, which currently states:

All previous Conditions of Approval applicable to the subject property, as contained in Resolution R-2014-726 (Control 2007-00018), have been consolidated as contained herein. The Property Owner shall comply with all previous Conditions of Approval and deadlines previously established by Article 2.E of the Unified Land Development Code and the Board of County Commissioners or Zoning Commission, unless expressly modified.

Is hereby amended to read:

All previous Conditions of Approval applicable to the subject property, as contained in Resolution R-2014-1103 (Control 2007-00018), have been consolidated as contained herein. The Property Owner shall comply with all previous Conditions of Approval and deadlines previously established by Article 2.E of the Unified Land Development Code and the Board of County Commissioners or Zoning Commission, unless expressly modified. (ONGOING: MONITORING - Zoning)

2. Previous ALL PETITIONS Condition 2 of Resolution R-2014-1103, Control No.2007-00018, which currently states:

The approved Preliminary Site Plan is dated July 29, 2013. Modifications to the Development Order inconsistent with the Conditions of Approval, or changes to the uses or site design beyond the authority of the Development Review Officer as established in the Unified Land Development Code, must be approved by the Board of County Commissioners or the Zoning Commission.

Is hereby amended to read:

The approved Preliminary Site Plan is dated September 11, 2025. Modifications to the Development Order inconsistent with the Conditions of Approval, or changes to the uses or site design beyond the authority of the Development Review Officer as established in the Unified Land Development Code, must be approved by the Board of County Commissioners. (ONGOING: ZONING - Zoning)

3. Prior to final approval by the Development Review Officer (DRO), the site plan shall be revised to indicate all the existing drainage and utility easements. The site plan shall also indicate the easements to be retained or abandoned. (DRO: ZONING - Zoning) [Note: COMPLETED] (Previous ALL PETITIONS Condition 3 of Resolution R-2014-1103, Control No.2007-00018)

4. Prior to the issuance of a building permit, all easements that conflict with the location of a proposed structure or a landscape buffer shall be abandoned or relocated. (BLDGPM: BUILDING DIVISION - Zoning) (Previous ALL PETITIONS Condition 4 of Resolution R-2014-1103, Control No.2007-00018)

ARCHITECTURAL REVIEW

1. At time of submittal for final Development Review Officer (DRO) approval, the architectural elevations for all buildings shall be submitted simultaneously with the site plan for final architectural review and approval. Elevations shall be designed to be consistent with Article 5.C of the ULDC. Development shall be consistent with the approved architectural elevations, the DRO approved site plan, all applicable conditions of approval, and all ULDC requirements. (DRO: ZONING - Zoning) (Previous ARCHITECTURAL REVIEW Condition 1 of Resolution R-2014-1103, Control No.2007-00018)

2. Design of gutters and downspouts shall be integrated into the architectural design of each building. Painting of the gutters and downspouts shall not constitute architectural integration. (DRO: ZONING - Zoning) (Previous ARCHITECTURAL REVIEW Condition 2 of Resolution R-2014-1103, Control No.2007-00018)

3. Buildings F shall be designed to be generally consistent with the elevations dated June 24, 2013. Modifications to the Elevations inconsistent with the Conditions of Approval, or changes beyond the authority of the Development Review Officer as established in the Unified Land Development Code, must be approved by the Board of County Commissioners or the Zoning Commission. (ONGOING: ZONING - Zoning) (Previous ARCHITECTURAL REVIEW Condition 3 of Resolution R-2014-1103, Control No.2007-00018)

ENGINEERING

1. Previous ENGINEERING Condition 1 of Resolution R-2014-1103, Control No.2007-00018, which currently states:

In order to comply with the mandatory Traffic Performance Standards, the Property Owner shall be restricted to the following phasing schedule:

a. No Building Permits for the site may be issued after December 31, 2017. A time extension for this condition may be approved by the County Engineer based upon an approved Traffic Study which complies with Mandatory Traffic Performance Standards in place at the time of the request. This extension request shall be made pursuant to the requirements of Article 2, Section E of the Unified Land Development Code. (DATE: MONITORING - Engineering)

b. Building Permits for more than 6,800 square feet of gross leasable General Commercial floor area shall not be issued until the contract has been awarded for the following intersection improvements:

i. construction of dual left turn lanes north approach on Lyons Road at Forest Hill Blvd. plus the appropriate paved tapers and receiving lanes.

ii. construction of a right turn lane north approach on Sansbury's Way at Southern Blvd. plus the appropriate paved tapers and receiving lanes. (BLDGPMT: MONITORING - Engineering) [Note: COMPLETED]

c. No Building Permits for the site shall be issued until the Property Owner makes a proportionate share payment in the amount of 4.60% of the total cost of the following improvements at the intersection of Southern Blvd and Sansbury's Way:

i. modify the north approach to make a total of two (2) left turn lanes, two (2) through lanes, and one (1) right turn lane,

ii. modify the south approach to make a total of two (2) left turn lanes, two (2) through lanes, and two (2) right turn lanes,

iii. modify the west approach to make a total of two (2) left turn lanes, four (4) through lanes, and one (1) right turn lane, and

iv. modify the east approach to make a total of two (2) left turn lanes, four (4) through lanes, and one (1) right turn lane.

These modifications will also require widening of the Lyons Road bridge on the south approach to accommodate the receiving lanes as well as all necessary tapers. This proportionate share amount may be applied toward construction of this improvement or one or more other improvements that will benefit the mobility in the area impacted by the project, as determined by the County Engineer and/or the Florida Department of Transportation. The value of the improvement shall be based on an engineer's certified cost estimate provided by the applicant and approved by the County Engineer or other method approved by the County Engineer at the time of payment. Any use change or the restriction imposed on the 9770 square foot High-Turnover Sit-Down Restaurant, identified as Building E on the approved site plan dated February 12, 2014 regarding the opening time of business, which is restricted to after 10:30 AM, the proportionate share payment amount can be modified subject to the review and approval of a revised traffic study by the County Engineer. (BLDGPMT: MONITORING - Engineering)

Is hereby amended to read:

In order to comply with the mandatory Traffic Performance Standards, the Property Owner shall be restricted to the following phasing schedule:

a. Pursuant to the Traffic Analysis dated June 23, 2025, the Buildout Date is December 31, 2028. No Building Permits for the site may be issued after December 31, 2028. A time extension for this condition may be approved by the County Engineer based upon an approved Traffic Study which complies with Mandatory Traffic Performance Standards in place at the time of the request. This extension request shall be made pursuant to the requirements of Art. 2.E of the Unified Land Development Code. (DATE: MONITORING - Engineering)

b. Building Permits for more than 6,800 square feet of gross leasable General Commercial floor area shall not be issued until the contract has been awarded for the following intersection improvements:

i. construction of dual left turn lanes north approach on Lyons Road at Forest Hill Blvd. plus the appropriate paved tapers and receiving lanes.

ii. construction of a right turn lane north approach on Sansbury's Way at Southern Blvd. plus the appropriate paved tapers and receiving lanes. (BLDGPMT: MONITORING - Engineering) [Note: COMPLETED]

c. No Building Permits for the site shall be issued until the Property Owner makes a proportionate share payment in the amount of 4.60% of the total cost of the following improvements at the intersection of Southern Blvd and Sansbury's Way:

i. modify the north approach to make a total of two (2) left turn lanes, two (2) through lanes, and one (1) right turn lane,

- ii. modify the south approach to make a total of two (2) left turn lanes, two (2) through lanes, and two (2) right turn lanes,
- iii. modify the west approach to make a total of two (2) left turn lanes, four (4) through lanes, and one (1) right turn lane, and
- iv. modify the east approach to make a total of two (2) left turn lanes, four (4) through lanes, and one (1) right turn lane.

These modifications will also require widening of the Lyons Road bridge on the south approach to accommodate the receiving lanes as well as all necessary tapers. This proportionate share amount may be applied toward construction of this improvement or one or more other improvements that will benefit the mobility in the area impacted by the project, as determined by the County Engineer and/or the Florida Department of Transportation. The value of the improvement shall be based on an engineer's certified cost estimate provided by the applicant and approved by the County Engineer or other method approved by the County Engineer at the time of payment. Any use change or the restriction imposed on the 9770 square foot High-Turnover Sit-Down Restaurant, identified as Building E on the approved site plan dated February 12, 2014 regarding the opening time of business, which is restricted to after 10:30 AM, the proportionate share payment amount can be modified subject to the review and approval of a revised traffic study by the County Engineer. (BLDGPMT: MONITORING - Engineering)

2. Acceptable surety required for the offsite intersection improvements as outlined in Engineering condition number 1.b above shall be posted with the Office of the Land Development Division on or before February 23, 2008. Surety in the amount of 110% shall be based upon a Certified Cost Estimate provided by the Property owner's Engineer. (TPS - Maximum 6 month time extension) (DATE: MONITORING - Engineering) [Note: COMPLETED] (Previous ENGINEERING Condition 2 of Resolution R-2014-1103, Control No.2007-00018)

3. CORRIDOR CONVEYANCE OF RIGHT OF RIGHT OF WAY

The Property Owner shall provide to the Palm Beach County Land Development Division a road right of way deed and all associated documents as required by the County Engineer for:

- Sansbury's Way 60 feet from centerline
- Expanded Intersection Detail along Sansbury's Way at Southern Boulevard, 64 feet from centerline plus the appropriate taper.

All right of way deed(s) and associated documents shall be provided and approved prior to January 1, 2008 or prior to the issuance of a Building Permit whichever shall first occur.

Right of way conveyance shall be along the entire frontage and shall be free of all encroachments and encumbrances. Property Owner shall provide Palm Beach County with sufficient documentation acceptable to the Right of Way Acquisition Section to ensure that the property is free of all encumbrances and encroachments. The Property Owner further warrants that the property being conveyed to Palm Beach County meets all appropriate and applicable environmental agency requirements. In the event of a determination of contamination which requires remediation or clean up on the property now owned by the Property Owner, the Property Owner agrees to hold the County harmless and shall be responsible for all costs of such clean up, including but not limited to, all applicable permit fees, Engineering or other expert witness fees including Attorney's fees as well as the actual cost of the clean up. Thoroughfare Plan Road right-of-way conveyances shall be consistent with Palm Beach County's Thoroughfare Right of Way Identification Map and shall include "Corner Clips." The Property Owner shall not record these required deeds or related documents. After final acceptance, Palm Beach County shall record all appropriate deeds and documents. (BLDGPMT/DATE: MONITORING - Engineering) [Note: COMPLETED] (Previous ENGINEERING Condition 3 of Resolution R-2014-1103, Control No.2007-00018)

4. Prior to issuance of the first building permit, the Property Owner shall provide a temporary roadway construction easement along Sansbury's Way to Palm Beach County. This roadway construction easement shall contain an isosceles trapezoid connecting the required corner clips across this Property Owner's entrance road right of way. Construction within this easement shall conform to Palm Beach County Standards The Property Owner shall not record these required easements or related documents. After final acceptance of the location, legal sketches, and dedication documents, Palm Beach County shall record all appropriate deeds and documents. (BLDGPMT: MONITORING - Engineering) [Note: COMPLETED] (Previous ENGINEERING Condition 4 of Resolution R-2014-1103, Control No.2007-00018)

5. Prior to the issuance of a building permit, the Property Owner shall provide to Palm Beach County Land Development Division by warranty deed additional right of way for the construction of a right turn lane on:

- Sansbury's Way at the project's south entrance road.
- Southern Boulevard at the project's east entrance road.
- Southern Boulevard at the project's west entrance road.

This right-of-way shall be a minimum of 280 feet in storage length, twelve feet in width and a taper length of 50 feet or as approved by the County Engineer. This additional right of way shall be free of all encumbrances and encroachments and shall include "Corner Clips" where appropriate as determined by the County Engineer. Property Owner shall provide Palm Beach County with sufficient documentation acceptable to the Right of Way Acquisition Section to ensure that the property is free of all encumbrances and encroachments. The Property Owner shall not record these required easements or related documents. After final acceptance of the location, legal sketches, and dedication documents, Palm Beach County shall record all appropriate deeds and documents. (BLDGPM: MONITORING - Engineering) [Note: COMPLETED] (Previous ENGINEERING Condition 5 of Resolution R-2014-1103, Control No.2007-00018)

6. The Property Owner shall construct:

- i. a right turn lane east approach on Southern Boulevard at both the projects east and west entrance road
 - ii. a right turn lane south approach on Sansbury's Way at the projects south entrance road
 - iii. left turn lane north approach on Sansbury's Way at both the projects north and south entrance road
 - iv. This construction shall be concurrent with the paving and drainage improvements for the site. Any and all costs associated with the construction shall be paid by the Property Owner. These costs shall include, but are not limited to, utility relocations and acquisition of any additional required right-of-way.
- a. Permits required by Palm Beach County for this construction shall be obtained prior to the issuance of the first Building Permit. (BLDGPM: MONITORING - Engineering) [Note: COMPLETED]
 - b. Construction shall be completed prior to the issuance of the first Certificate of Occupancy. (CO: MONITORING - Engineering) [Note: COMPLETED] (Previous ENGINEERING Condition 6 of Resolution R-2014-1103, Control No.2007-00018)

7. On or before January 1, 2009, the Property Owner shall provide to Palm Beach County sufficient road drainage easement(s) through the project's internal drainage system, as required by and approved by the County Engineer, to provide legal positive outfall for runoff from those segments of Sansbury's Way along the property frontage; and a maximum 800 feet of these adjacent roadway(s). The limits of this additional 800 feet of drainage shall be determined by the County Engineer. Said easements shall be no less than 20 feet in width. Portions of such system not included within roadways or waterways dedicated for drainage purposes will be specifically encumbered by said minimum 20 foot drainage easement from the point of origin, to the point of legal positive outfall. The drainage system within the project shall have sufficient retention/detention, compensating storage within this projects retention system as required by all permitting agencies, and conveyance capacity to meet the storm water discharge and treatment requirements of Palm Beach County and the applicable Drainage District, as well as the South Florida Water Management District, for the combined runoff from the project to accommodate the ultimate Thoroughfare Plan Road Section(s) of the included segment. If required and approved by the County Engineer, the Property Owner shall construct within the proposed drainage easements a minimum of 24 inch closed piping system and appropriate wingwall or other structures as required by and approved by the County Engineer. Elevation and location of the entire drainage system shall be approved by the County Engineer. Any and all excess fill material from excavation by Palm Beach County within said easements shall become the property of Palm Beach County which at its discretion may use this fill material. The Property Owner shall not record these required easements or related documents. After final acceptance of the location, legal sketches, and dedication documents, Palm Beach County shall record all appropriate deeds and documents. (DATE: MONITORING - Engineering) [Note: COMPLETED] (Previous ENGINEERING Condition 7 of Resolution R-2014-1103, Control No.2007-00018)

8. Landscape Within the Median of Southern Boulevard

- a. The Property Owner shall design, install, and perpetually maintain the median landscaping within the median of all abutting right of way of Southern Boulevard. This landscaping and irrigation shall strictly conform to the specifications and standards for the County's Only Trees, Irrigation, and Sod (OTIS) program. Additional landscaping beyond OTIS requires Board of County Commissioners approval. Median landscaping installed by Property Owner shall be perpetually maintained by the Property Owner, his successors and assigns, without recourse to Palm Beach County, unless the Property Owner provides payment for maintenance as set forth in Paragraph d below. (ONGOING: ENGINEERING - Engineering) [Note: COMPLETED]
- b. The necessary permit(s) for this landscaping and irrigation shall be applied for prior to the issuance of the first building permit. (BLDGPM: MONITORING - Engineering) [Note: COMPLETED]
- c. All installation of the landscaping and irrigation shall be completed prior to the issuance of the first certificate of occupancy. (CO: MONITORING - Engineering) [Note: COMPLETED]
- d. At Property Owner's option, when and if the County is ready to install OTIS on the surrounding medians of this roadway adjacent to the Property Owner installed landscaping, payment for the maintenance may be provided to the County. The payment shall be in the amount and manner that complies with the schedule for such payments that exists on the date payment is made. Once payment has been provided, Palm Beach County shall assume the maintenance responsibility for the OTIS landscaping and irrigation that has been installed by the Property Owner. The Property Owner shall first be required to correct any

deficiencies in the landscaping and irrigation. This option is not available to medians with additional landscaping beyond OTIS standards, unless those medians are first brought into conformance with OTIS standards by the Property Owner. (ONGOING: ENGINEERING - Engineering) [Note: COMPLETED]

e. Alternately, at the option of the Property Owner, and prior to the issuance of a Building Permit, the Property Owner may make a contribution to the County's Only Trees Irrigation and Sod, OTIS program, unincorporated thoroughfare beatification program. This payment, for the County's installation of landscaping and irrigation on qualifying thoroughfares shall be based on the project's front footage along Southern Boulevard. This payment shall be in the amount and manner that complies with the schedule for such payments as it currently exists or as it may from time to time be amended. (ONGOING: ENGINEERING - Engineering) [Note: COMPLETED] (Previous ENGINEERING Condition 8 of Resolution R-2014-1103, Control No.2007-00018)

9. Previous ENGINEERING Condition 9 of Resolution R-2014-1103, Control No.2007-00018, which currently states:

The Property Owner shall restripe the north approach of the intersection of Southern Blvd and Benoist Farms Rd to include one left turn lane and one shared left/through/right lane consistent with Palm Beach County standards within sixty (60) days notice from the County Engineer. Any and all costs associated with this work shall be paid by the Property Owner. These costs shall include, but are not limited to, utility relocations and acquisition of any additional required right-of-way. (ONGOING: ENGINEERING - Engineering)

Is hereby deleted. [REASON: No longer applicable]

10. Prior to the issuance of the first building permit, the Property Owner shall abandon or release, and relocate if necessary, any and all easements shown in conflict with the existing or proposed structures. (BLDGPM: MONITORING - Engineering)

LANDSCAPE - GENERAL-STANDARDS

1. Prior to the issuance of a building permit, the property owner shall submit a Landscape Plan to the Landscape Section for review and approval. The Plan(s) shall be prepared in compliance with all landscape related conditions of approval as contained herein. (BLDGPM: ZONING - Zoning) (Previous LANDSCAPE - GENERAL Condition 1 of Resolution R-2014-1103, Control No.2007-00018)

2. A minimum of fifty (50) percent of all trees to be planted in the landscape buffers shall meet the following minimum standards at installation:

- a. tree height: Fourteen (14) feet;
- b. trunk diameter: three and one-half (3.5) inches measured at four and one-half (4.5) feet above grade;
- c. canopy diameter: Seven (7) feet diameter shall be determined by the average canopy radius measured at three (3) points from the trunk to the outermost branch tip. Each radius shall measure a minimum of three and one-half (3.5) feet in length; and,
- d. credit may be given for existing or relocated trees provided they meet ULDC requirements. (BLDGPM: ZONING - Zoning) (Previous LANDSCAPE - GENERAL Condition 2 of Resolution R-2014-1103, Control No.2007-00018)

3. All palms required to be planted on the property by this approval shall meet the following minimum standards at installation:

- a. palm heights: twelve (12) feet clear trunk;
- b. clusters: staggered heights twelve (12) to eighteen (18) feet; and,
- c. credit may be given for existing or relocated palms provided they meet current ULDC requirements. (BLDGPM: ZONING - Zoning) (Previous LANDSCAPE - GENERAL Condition 3 of Resolution R-2014-1103, Control No.2007-00018)

4. Field adjustment of berm and plant material locations may be permitted to provide pedestrian sidewalks/bike paths and to accommodate transverse utility or drainage easements crossings and existing vegetation. (BLDGPM: ZONING - Zoning) (Previous LANDSCAPE - GENERAL Condition 4 of Resolution R-2014-1103, Control No.2007-00018)

LANDSCAPE - PERIMETER-ALONG THE SOUTH AND WEST PROPERTY LINES (ABUTTING SOUTHERN BOULEVARD AND SANSBURY'S WAY)

5. In addition to code requirements, the landscape buffers along the south and west property lines shall be upgraded to include:

- a. a two (2) to three (3) foot high undulating berm with an average height of two and one-half (2.5) feet; and,
- b. one (1) palm or pine tree for each twenty (20) linear feet of the property line with a maximum spacing of sixty (60) feet between clusters. (BLDGPM: ZONING - Zoning) (Previous LANDSCAPE - PERIMETER Condition 5 of Resolution R-2014-1103, Control No.2007-00018)

LANDSCAPE - PERIMETER-ALONG THE SOUTH AND WEST PROPERTY LINES (ABUTTING SOUTHERN BOULEVARD AND SANSBURY'S WAY)

6. Prior to final approval by the Development Review Officer (DRO), the plan(s) shall be revised to show the following shade structures in each location:

- a. a minimum of two (2) trellis along the western access driveway of Southern Boulevard and the southern access driveway of Sansbury's Way. These trellis structures shall be located both sides of the western access point of Southern Boulevard and both sides of the southern access point of Sansbury's Way. Trellis shall have a minimum of nine (9) feet in length and eleven (11) feet in width;
- b. a minimum of two (2) trellis/gazebo along the western access driveway of Southern Boulevard These trellis/gazebo structures shall be located adjacent to the north end of the main parking lot area. Trellis/gazebo shall have a minimum dimension of nine (9) feet in length and twenty-nine (29) feet in width;
- c. design/details of these structures shall be consistent with the structures as shown on the Regulating Plan dated September 19, 2007. (DRO: ZONING - Zoning) [Note: COMPLETED] (Previous LANDSCAPE - PERIMETER Condition 6 of Resolution R-2014-1103, Control No.2007-00018)

7. Special planting treatment shall be provided in the following locations and shall include:

- a. One (1) specimen Medjool or Canary Date Palm on both sides of each of the access points of Southern Boulevard and Sansbury's Way, and also on the southwest corner of Building F. (BLDGPM: ZONING - Zoning) (Previous LANDSCAPE - PERIMETER Condition 7 of Resolution R-2014-1103, Control No.2007-00018)

8. Special planting treatment shall be provided in the following locations and shall include:

- a. Royal Palms or a similar species acceptable to the Landscape Section shall be planted in the median of the access point of Sansbury's Way, and along both sides of the western access driveway of Southern Boulevard for a minimum length of three hundred and thirty (330) feet;
- b. Each palm shall be planted at a maximum spacing of thirty (30) apart. Palms shall have a minimum height of twenty (20) feet with a minimum greywood of twelve (12) feet. (BLDGPM: ZONING - Zoning) (Previous LANDSCAPE - PERIMETER Condition 8 of Resolution R-2014-1103, Control No.2007-00018)

9. Prior to final approval by the Development Review Officer (DRO), the site plan shall be revised to show a focal point in the midpoint of the western access driveway of Southern Boulevard. The focal point shall include, but not limited to, a fountain; a bell tower; a plaza or a decorative paving pattern that reflects the architectural theme of the principal structures. If a paving pattern is being provided, paving should consist of a minimum area of 1,960 square feet with a minimum radius of twenty-five (25) feet. Details of this focal point shall be subject to the Architectural Review Section for review and approval. (DRO: ZONING - Zoning) [Note: COMPLETED] (Previous LANDSCAPE - PERIMETER Condition 9 of Resolution R-2014-1103, Control No.2007-00018)

10. Decorative pavers or stamped concrete shall be provided along the internal driveway in areas where shown on the site plan dated September 28, 2007. The property owner shall also provide additional decorative paving in two other areas as follows:

- a. a minimum of 3,000 square feet at the Sansbury's Way access driveway; and,
- b. A minimum of 3,000 square feet at the drive aisle adjacent to the south entrance area of Building B. (ONGOING: ZONING - Zoning) [Note: COMPLETED] (Previous LANDSCAPE - PERIMETER Condition 10 of Resolution R-2014-1103, Control No.2007-00018)

11. Prior to final approval by the Development Review Officer (DRO), the site plan shall be revised to show a divider median between each drive thru lane of Bank Building G, and as follows:

- a. a minimum width of five (5) feet, excluding curb;
- b. a minimum length of eighty (80) feet;
- c. each end of the median shall have a minimum five (5) feet by five (5) feet of planting area extended beyond the boundary of the overhead canopy;
- d. one (1) palm tree with a minimum ten (10) feet of greywood and appropriate ground cover shall be installed in each planting area; and,
- e. the remaining portion of the median shall be paved with decorative paving such as precast concrete pavers, stamped concrete or any other materials acceptable to the Landscape Section. (DRO: ZONING - Zoning) (Previous LANDSCAPE - PERIMETER Condition 11 of Resolution R-2014-1103, Control No.2007-00018)

12. The Property Owner may replace the tree diamonds that are adjacent to the pedestrian walkway located in the southeast parking lot. If any of the tree diamonds are eliminated, the property owner shall provide a minimum of two (2) trellis structures. The trellis dimensions shall be consistent and pursuant to Landscape Condition 6.a. Prior to final approval by the Development Review Officer (DRO), the property owner may revise the site plan to reflect this option. (DRO: ZONING - Zoning) (Previous LANDSCAPE - PERIMETER Condition 12 of Resolution R-2014-1103, Control No.2007-00018)

LIGHTING

1. All outdoor lighting shall be extinguished no later than 11:30 p.m., excluding security lighting only. (ONGOING: CODE ENF - Zoning) (Previous LIGHTING Condition 1 of Resolution R-2014-1103, Control No.2007-00018)
2. The lighting conditions above shall not apply to proposed security or low voltage landscape/accent type lights used to emphasize plant material. (ONGOING: CODE ENF - Zoning) (Previous LIGHTING Condition 2 of Resolution R-2014-1103, Control No.2007-00018)

PLANNING

1. Per LGA 2004-007, Ordinance 2004-029, Development shall be limited to a 0.22 Floor Area Ratio (FAR) for a maximum 321,037 gross buildable square footage for this 33.52-acre site. (ONGOING: PLANNING - Planning) (Previous PLANNING Condition 1 of Resolution R-2014-1103, Control No.2007-00018)

SIGNS

1. Freestanding signs fronting on Southern Boulevard shall be limited as follows:
 - a. maximum number of signs - three (3);
 - b. location - shall be as shown on the approved site plan dated September 28, 2007; sign 'A' near the eastern property line, sign 'B' near the central entrance and sign 'C' near the western property line.
 - c. maximum sign height, measured from finished grade to highest point shall be twelve (12) feet for sign 'A'; twelve (12) feet for sign 'B' and eight (8) feet for sign 'C';
 - d. maximum sign face area per side shall be eighty square feet (80) feet for sign 'C' and one hundred twenty square feet (120) feet for signs 'A' and 'B'; and
 - e. style - monument style only. (BLDG/PMT/ONGOING: BUILDING DIVISION - Zoning) (Previous SIGNS Condition 1 of Resolution R-2014-1103, Control No.2007-00018)
2. Freestanding point of purchase signs fronting on Sansbury Way shall be limited as follows:
 - a. maximum sign height, measured from finished grade to highest point - twelve (12) feet;
 - b. maximum sign face area per side - 150 square feet;
 - c. maximum number of signs - three (3);
 - d. style - monument style only;
 - e. location - within fifty (50) feet of the access point measured from edge of pavement; and,
 - f. signs shall be limited to identification of project name, address, and tenant names only. (ONGOING: BUILDING DIVISION - Zoning) (Previous SIGNS Condition 2 of Resolution R-2014-1103, Control No.2007-00018)

USE LIMITATIONS

1. Outdoor retail business activities shall not be allowed on the property, excluding activities approved by a Special Permit, deliveries and drive-through activities only. (ONGOING: CODE ENF - Zoning) (Previous USE LIMITATIONS Condition 1 of Resolution R-2014-1103, Control No.2007-00018)
2. Overnight storage or parking of delivery vehicles or trucks shall not be permitted on site, except within designated loading and delivery areas. (ONGOING: CODE ENF - Zoning) (Previous USE LIMITATIONS Condition 2 of Resolution R-2014-1103, Control No.2007-00018)

COMPLIANCE

1. In Granting this Approval, the Board of County Commissioners relied upon the oral and written representations of the Property Owner/Applicant both on the record and as part of the application process. Deviations from or violation of these representations shall cause the Approval to be presented to the Board of County Commissioners for review under the Compliance Condition of this Approval. (ONGOING: ZONING - Zoning) (Previous COMPLIANCE Condition 1 of Resolution R-2014-1103, Control No.2007-00018)
2. Failure to comply with any of the Conditions of Approval for the subject property at any time may result in:
 - a. The Issuance of a Stop Work Order; the Issuance of a Cease and Desist Order; the Denial or Revocation of a Building Permit; the Denial or Revocation of a Certificate of Occupancy; the Denial of any other Permit, License or Approval to any developer, owner, lessee, or user of the subject property; the Revocation of any other permit, license or approval from any developer, owner, lessee, or user of the subject property; the Revocation of any concurrency; and/or
 - b. The Revocation of the Official Map Amendment, Conditional Use, Requested Use, Development Order Amendment, and/or any other zoning approval; and/or
 - c. A requirement of the development to conform with the standards of the Unified Land Development Code at the time of the finding of non-compliance, or the addition or modification of conditions reasonably related to the failure to comply with existing Conditions of Approval; and/or
 - d. Referral to Code Enforcement; and/or
 - e. Imposition of entitlement density or intensity.

Staff may be directed by the Executive Director of PZ&B or the Code Enforcement Special Master to schedule a Status Report before the body which approved the Official Zoning Map Amendment, Conditional Use, Requested Use, Development Order Amendment, and/or other zoning approval, in accordance with the provisions of Section 2.E of the ULDC, in response to any flagrant violation and/or continued violation of any Condition of Approval. (ONGOING: MONITORING - Zoning)

DISCLOSURE

1. All applicable state or federal permits shall be obtained before commencement of the development authorized by this Development Permit.

Exhibit C-2 Conditions of Approval

Class A Conditional Use – Type 1 Restaurant (Building H)

ALL PETITIONS

1. The approved Preliminary Site Plan is dated September 15, 2025. Modifications to the Development Order inconsistent with the Conditions of Approval, or changes to the uses or site design beyond the authority of the Development Review Officer as established in the Unified Land Development Code, must be approved by the Board of County Commissioners. (ONGOING: ZONING - Zoning)

ARCHITECTURAL REVIEW-BUILDING H

1. Buildings H shall be designed to be generally consistent with the elevations dated September 15, 2025. Modifications to the Elevations inconsistent with the Conditions of Approval, or changes beyond the authority of the Development Review Officer as established in the Unified Land Development Code, must be approved by the Board of County Commissioners. (BLDGPMT/DRO: ZONING - Zoning)

2. At time of submittal for final approval by the Development Review Officer (DRO), the Architectural Elevations for Building H shall be submitted for review and approval by the Zoning Division. Architectural Elevations shall comply with the standards indicated in Article 5.C of the Unified Land Development Code (ULDC) and shall be generally consistent with the Architectural Elevations dated September 15, 2025. Development shall be consistent with the approved Architectural Elevations, the DRO approved Final Plan, all applicable Conditions of Approval, and all ULDC requirements. (DRO: ZONING - Zoning)

3. The maximum height for all structures including air conditioning, mechanical equipment and satellite dishes shall not exceed 21 feet. Heights shall be measured from finished grade to highest point of the structure. (BLDGPMT/DRO: ZONING - Zoning)

4. The Type 1 Restaurant (Building H) shall be limited to the colors (tan and smalls orange) and materials as indicated on the Preliminary Elevations Plan dated September 15, 2025. (ONGOING/DRO/BLDGPMT: ZONING – Zoning)

Site Design

1. At time of submittal for final approval by the Development Review Officer (DRO), the Applicant shall revise the Plan to indicate pedestrian connections from the proposed Building H to Building F. (DRO: ZONING – Zoning)

COMPLIANCE

1. In Granting this Approval, the Board of County Commissioners relied upon the oral and written representations of the Property Owner/Applicant both on the record and as part of the application process. Deviations from or violation of these representations shall cause the Approval to be presented to the Board of County Commissioners for review under the Compliance Condition of this Approval. (ONGOING: ZONING - Zoning)

2. Failure to comply with any of the Conditions of Approval for the subject property at any time may result in:

- a. The Issuance of a Stop Work Order; the Issuance of a Cease and Desist Order; the Denial or Revocation of a Building Permit; the Denial or Revocation of a Certificate of Occupancy; the Denial of any other Permit, License or Approval to any developer, owner, lessee, or user of the subject property; the Revocation of any other permit, license or approval from any developer, owner, lessee, or user of the subject property; the Revocation of any concurrency; and/or
- b. The Revocation of the Official Map Amendment, Conditional Use, Requested Use, Development Order Amendment, and/or any other zoning approval; and/or
- c. A requirement of the development to conform with the standards of the Unified Land Development Code at the time of the finding of non-compliance, or the addition or modification of conditions reasonably related to the failure to comply with existing Conditions of Approval; and/or
- d. Referral to Code Enforcement; and/or
- e. Imposition of entitlement density or intensity.

Staff may be directed by the Executive Director of PZ&B or the Code Enforcement Special Master to schedule a Status Report before the body which approved the Official Zoning Map Amendment, Conditional Use, Requested Use, Development Order Amendment, and/or other zoning approval, in accordance with the provisions of Section 2.E of the ULDC, in response to any flagrant violation and/or continued violation of any Condition of Approval. (ONGOING: MONITORING - Zoning)

DISCLOSURE

1. All applicable state or federal permits shall be obtained before commencement of the development authorized by this Development Permit.

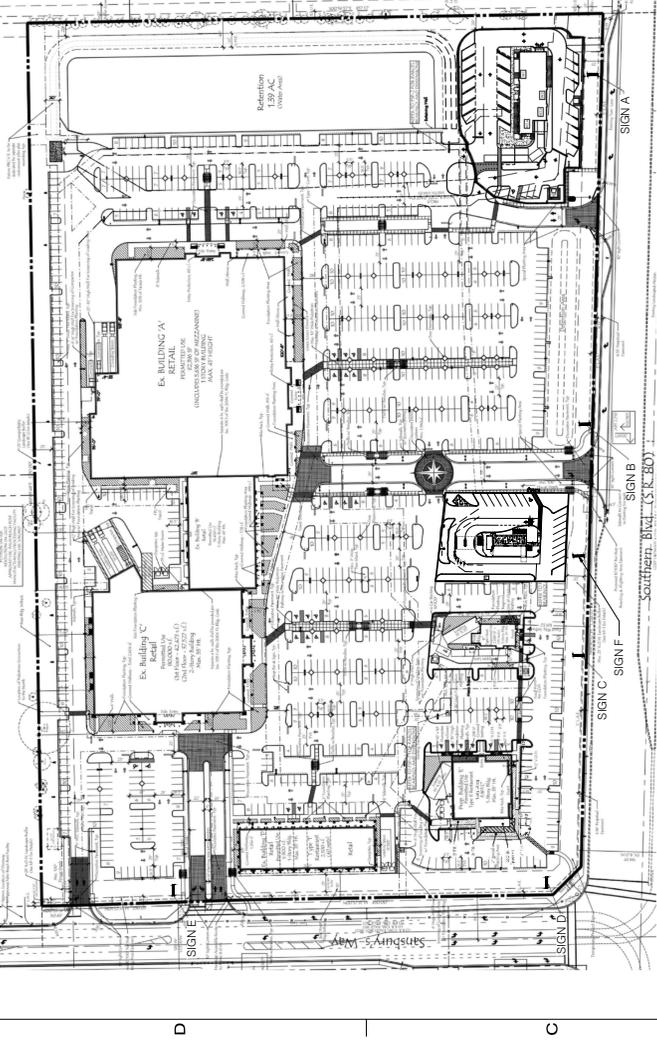
Exhibit D - Project History

Application No.	Title & Request	Resolution	Decision	Approval Date
PDD-2007-00055	Title: An Official Zoning Map Amendment to a Planned Development District Request: Rezoning from the Agricultural Residential (AR) Zoning District to the Multiple Use Planned Development (MUPD) Zoning District	R-2007-01879	Approved With Conditions	10/25/2007
ZV-2008-01352	Title: a Type II Variance Request: to allow signage on the eastern facade which does not face a street; to allow larger wall signage on the eastern facade for Building A, and to allow the entire building southern facade to be considered continuous regardless of the projection.	ZR-2008-00062	Adopted With Conditions	11/06/2008
ZV-2008-01354	Title: a Type II Variance Request: to allow larger wall signs on the western (side street) and southern (front) facades of Building C	ZR-2008-00059	Adopted With Conditions	11/17/2008
ZV-2008-01354	Title: a Type II Variance Request: to allow larger wall signs on the western (side street) and southern (front) facades of Building C	ZR-2009-00011	Adopted With Conditions	11/17/2008
DOA/R-2013-01330	Title: a Development Order Amendment Request: to reconfigure the Site Plan and to add square footage and uses.	R-2013-01761	Approved	12/05/2013
DOA/R-2013-01330	Title: a Requested Use Request: to allow a Type I Restaurant.	R-2013-01762	Approved	12/05/2013
CRB-2014-00755	Title: a Corrective Resolution Request: to correct errors within Resolution R-2013-1761 which inadvertently left out Conditions of Approval previously described in Exhibit C of application DOA/R-2013-01330.	R-2014-00726	Adopted With Conditions	05/22/2014
EAC-2014-00659	Title: an Expedited Application Consideration Request: to modify a Condition of Approval (Engineering).	R-2014-01103	Adopted With Conditions	07/24/2014

Exhibit E.1 - Preliminary Site Plan

Exhibit E.2 - Preliminary Regulating Plan

Exhibit E.3 - Preliminary Master Sign Plan



ULDC Requirements per Table 8.G.1.A - Wall Sign

Standards	W1 (North) 120 ft. L.	W2.A (West) 20 ft. L.	W2.E (West) 20 ft. L.	W3 (South) 100 ft. L.
Maximum Sign Area (per linear ft. of the wall to which the sign is attached)	1.0 s.f. along any one side of the building	20 s.f.	20 s.f.	20 s.f.
Minimum Sign Area (per linear ft. of the wall to which the sign is attached)	0.5 s.f. along any of the remaining sides of the building or 0.25 s.f. for walls adjacent to a residential zoning district or URP	60 s.f.		50 s.f.
Proposed Sign Area	60 s.f.	20 s.f.	20 s.f.	40 s.f.
Minimum wall sign per tenant space	24 square feet	N/A	N/A	N/A
Minimum Horizontal and Vertical Separation Between Signs	3 ft.	N/A	N/A	N/A
Maximum Projections from Surface of the Building	24 in.	24 in.	24 in.	24 in.
Minimum Vertical Separation Between Sign and Roof Line	6 in.	6 in.	6 in.	6 in.

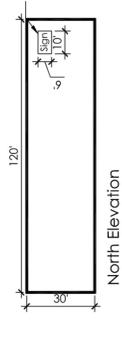
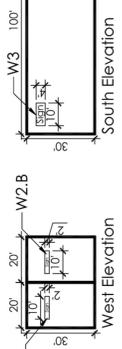
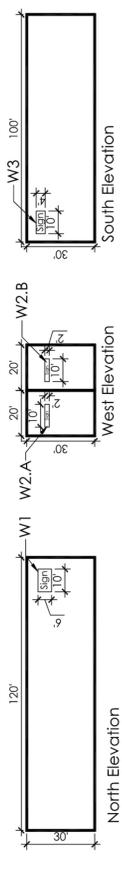
Freestanding Outparcel Sign in US Tier

Street Name/Length of Frontage	Max. No. per Project Frontage		Max. Sign Height (ft)		Min. Setback		Min. Separation	
	Allowed	Proposed	Allowed	Proposed	Allowed	Proposed	Allowed	Proposed
Southern Boulevard (1,246.41 linear ft)	2	2	20 s.f.	5'	5'	5	N/A	N/A

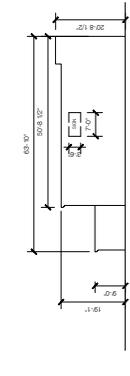
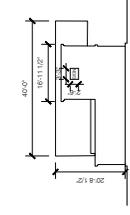
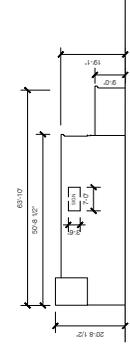
ULDC Requirements per Table 8.G.1.A - Wall Sign

Standards	W1 (NORTH) 16-11.5' L.F.	W2.A (WEST) 50'-8" L.F.	W2.E (EAST) 50'-8" L.F.	W3 (SOUTH) 40'-0" L.F.
Maximum Sign Area (per linear ft. of the wall to which the sign is attached)	1.0 s.f. along any one side of the building	16.9 s.f.	90.8 s.f.	40 s.f.
Minimum Sign Area (per linear ft. of the wall to which the sign is attached)	0.5 s.f. along any of the remaining sides of the building or 0.25 s.f. for walls adjacent to a residential zoning district or URP	8.45 s.f.	26.4 s.f.	26.4 s.f.
Proposed Sign Area	8.125 s.f.	24.5 s.f.	24.5 s.f.	40 s.f.
Minimum wall sign per tenant space	N/A	N/A	N/A	N/A
Minimum Horizontal and Vertical Separation Between Signs	3 ft.	N/A	N/A	N/A
Maximum Projections from Surface of the Building	24 in.	24 in.	24 in.	24 in.
Minimum Vertical Separation between Sign and Roof Line	6 in.	6 in.	6 in.	6 in.

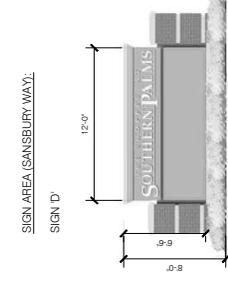
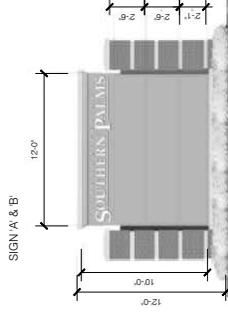
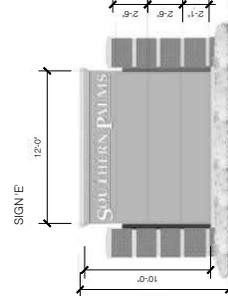
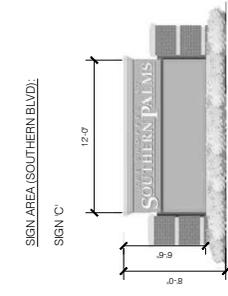
SITE DATA
 APPLICATION NAME: SHOPPES AT SOUTHERN PALMS
 CONTROL NO.: 2007-00018
 APPLICATION NO.: DOACA-2024-0790



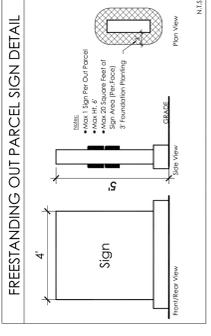
Building G Elevation Diagrams



B1 BUILDING 'H' ELEVATION DIAGRAMS
 SCALE: N.T.S.



A5 & SIGN 'F' FREESTANDING OUT PARCEL SIGN
 SCALE: N.T.S.



AMENDMENT STAMPS

ZONING STAMPS

PRELIMINARY MASTER SIGN PLAN

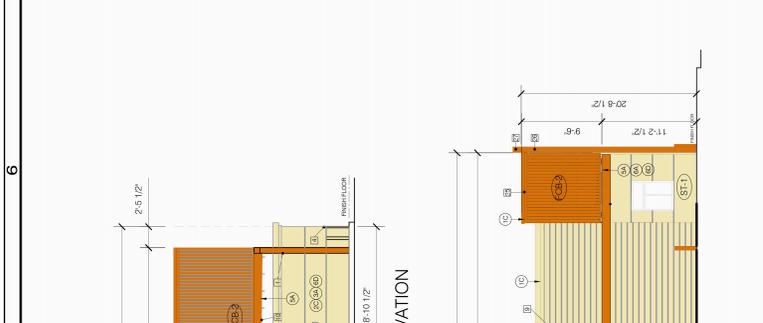


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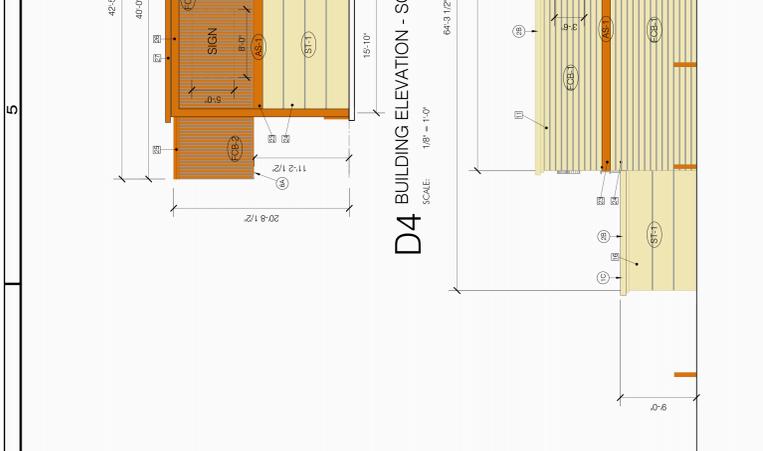
REVISIONS	PROJECT NO.	AA 24171
NO DATE	SHEET	PMSP-1
1 08/08/25		

DATE 05/27/25

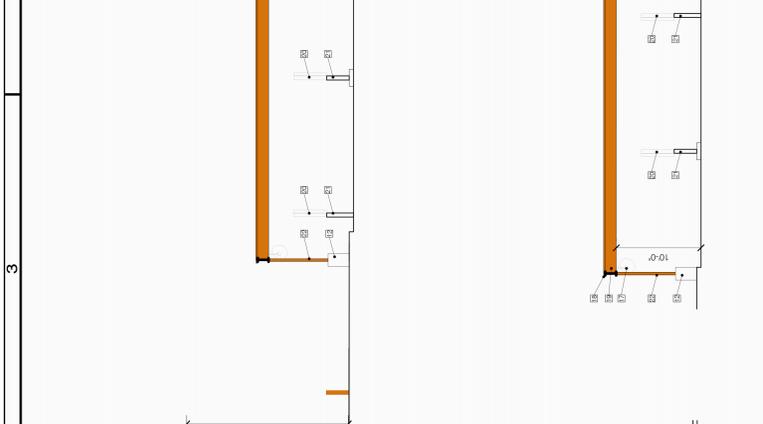
Exhibit E.4 - Preliminary Architectural Elevations



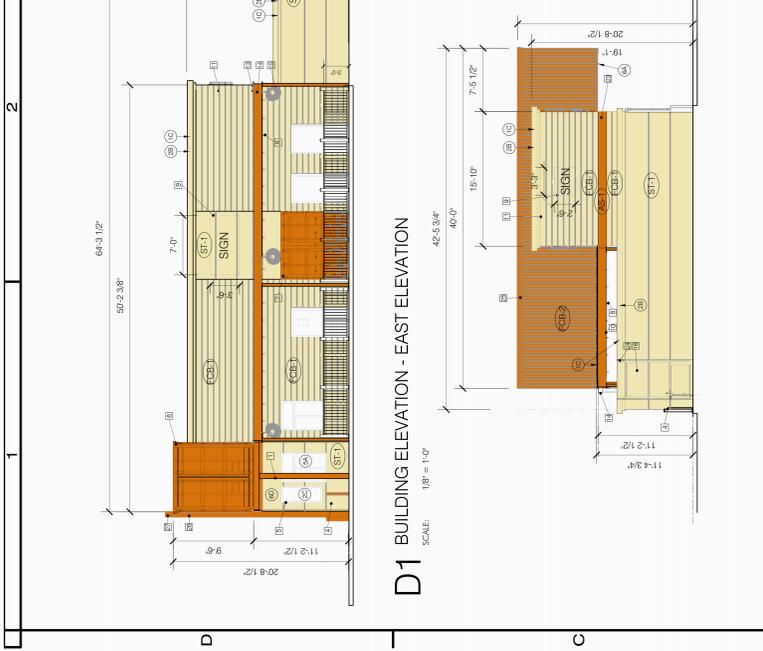
D1 BUILDING ELEVATION - EAST ELEVATION
SCALE: 1/8" = 1'-0"



D4 BUILDING ELEVATION - SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



C4 BUILDING ELEVATION - WEST ELEVATION
SCALE: 1/8" = 1'-0"



C1 BUILDING ELEVATION - NORTH ELEVATION
SCALE: 1/8" = 1'-0"

KEYED ELEVATION NOTES:

- 1) 3/4" WIDE FIBER CEMENT BOARD HORIZONTAL BANDING
- 2) 1/4" WIDE FIBER CEMENT BOARD HORIZONTAL BANDING
- 3) 1/4" WIDE STUCCO HORIZONTAL BANDING
- 4) 1/4" WIDE UNFINISHED METAL BANDING
- 5) 1/4" WIDE UNFINISHED METAL BANDING
- 6) 1/4" WIDE UNFINISHED METAL BANDING
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- 99) 1/4" WIDE UNFINISHED METAL BANDING
- 100) 1/4" WIDE UNFINISHED METAL BANDING

PROJECT INFORMATION

APPLICATION NAME: SHOPPES AT SOUTHERN PALMS
CONTROL No.: 2007.00018
APPLICATION No.: JDOACA-2024-01790

MATERIAL SCHEDULE

ELEVATION ELEMENT	MARK	MATERIAL	FINISH	COLOR	MANUFACTURER
EXTERIOR WALLS					
FIELD	FCB-1	1/4" FIBER CEMENT BOARD HORIZONTAL BANDING	PAINT	TAN	
W/	FCB-2	1/4" FIBER CEMENT BOARD VERTICAL RAIN SCREEN	PAINT	SMALLS ORANGE	
FIELD	ST-1	STUCCO HORIZONTAL BANDING	PAINT	TAN	
ACCENT	AS-1	UNFINISHED METAL BANDING	PAINT	SMALLS ORANGE	
SLIDING TRANSACTION WINDOW	2	ALUMINUM GLASS	ANODIZED	CLEAR	DUKSERVY

COMPATIBILITY ANALYSIS

EXISTING	PROPOSED
DUNKIN DONUTS	SMALLS SLIDERS
PRIMARY ACCENT COLOR: ORANGE	PRIMARY ACCENT COLOR: ORANGE
PRIMARY FIELD COLOR: TONES OF BROWN	PRIMARY FIELD COLOR: A TONE OF BROWN
DOOR COLORS: BRONZE / GLASS	DOOR COLORS: BRONZE / GLASS
HORIZONTAL ROOF LINES	HORIZONTAL ROOF LINES
VERTICAL WALL PLANS / NO SLOPED ROOF	VERTICAL WALL PLANS / NO SLOPED ROOF
DRIVE THROUGH ACCENTED BY MASSING	DRIVE THROUGH ACCENTED BY MASSING
ORANGE ACCENT COLOR AT DRIVE THRU	ORANGE ACCENT COLOR AT DRIVE THRU
WALK-IN COOLER AREA SCREENED	WALK-IN COOLER AREA SCREENED

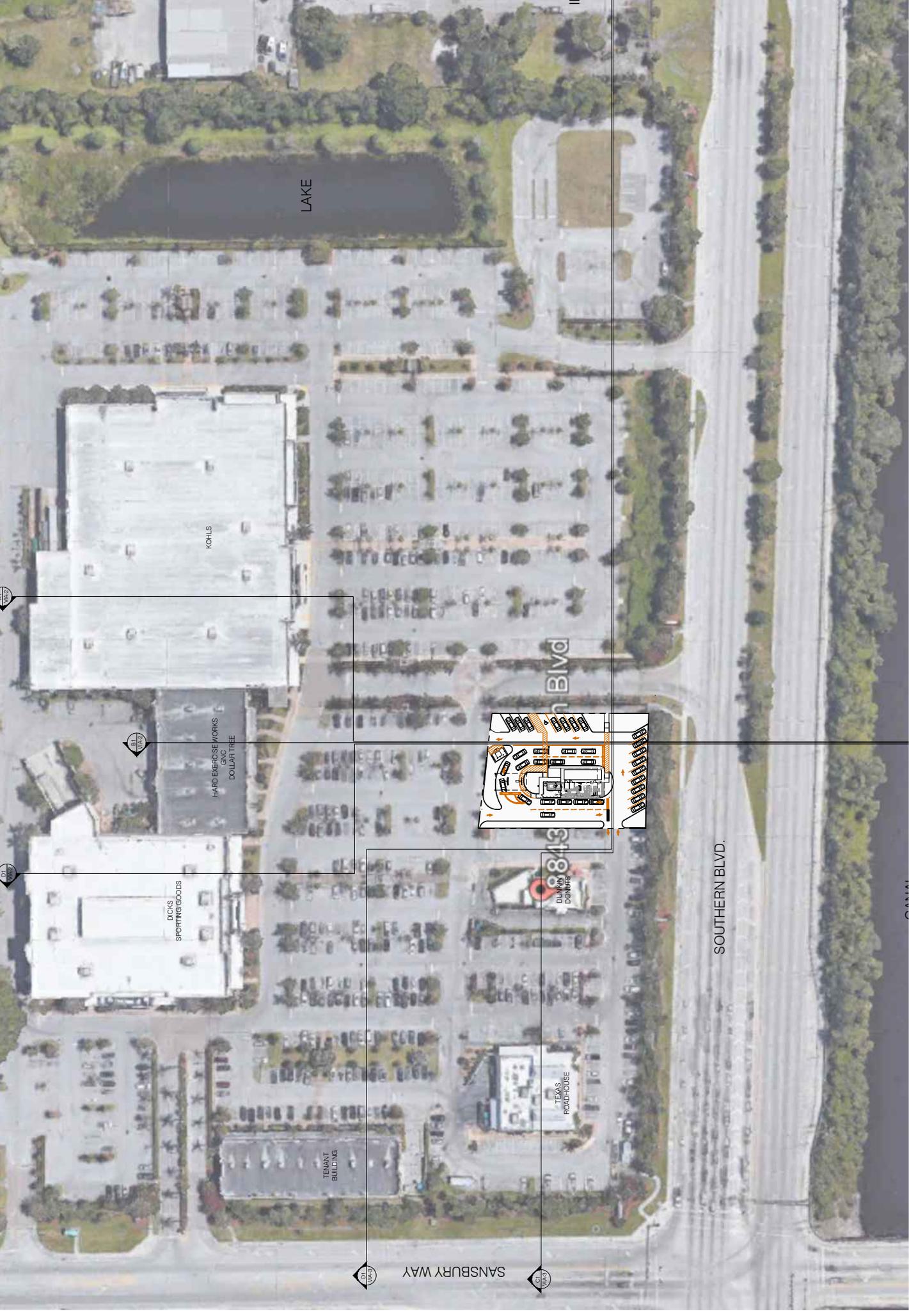
NON-RESIDENTIAL ULDC 5.C DESIGN STANDARDS

REQUIREMENT SELECTION	STREET SIDE - SOUTH ELEVATION (TOTAL LENGTH - 42'-5.34")	PATIO SIDE - EAST ELEVATION (TOTAL LENGTH - 64'-3.1/2")	DRIVE THRU ORDERING SIDE NORTH ELEVATION (TOTAL LENGTH - 42'-5.34")	DRIVE THROUGH WINDOW PICKUP SIDE - WEST ELEVATION (TOTAL LENGTH - 64'-3.1/2")
1. S.C.1.H.B. PRIMARY ROOF DESIGN ELEMENT (ONE REQUIRED ELEMENT PER FACADE)	NA	NA	NA	NA
2. S.C.1.H.C. SECONDARY ROOF DESIGN ELEMENT (ONE REQUIRED ELEMENT PER FACADE)	NA	NA	NA	NA
3. S.C.1.H.C.1. SLOPED ROOF PROJECTIONS (ALL ELEMENTS ARE REQUIRED)	NA	NA	NA	NA
4. S.C.1.H.C.1. EXTERIOR - TREATMENT AND FINISH (ONE ADDITIONAL ELEMENT REQUIRED)	NA	NA	NA	NA
5. S.C.1.H.A. ENTRY FEATURE DESIGN ELEMENTS (ONE DESIGN ELEMENT REQUIRED)	NA	NA	NA	NA
6. S.C.1.H.B. ENTRY FEATURE DESIGN ELEMENTS (ONE DESIGN ELEMENT REQUIRED)	NA	NA	NA	NA

AMENDMENT STAMPS

ZONING STAMPS

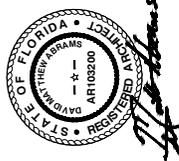
Exhibit E.5 – Visual Impact Analysis



A1 VISUAL IMPACT ANALYSIS SITE PLAN
SCALE: 1" = 500'



SHOPPES AT
SOUTHERN PALMS
PALM BEACH COUNTY, FLORIDA

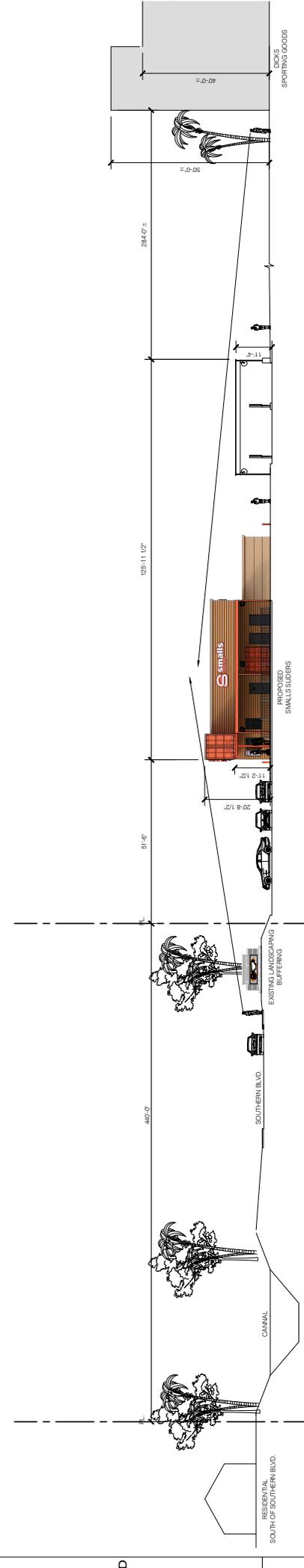


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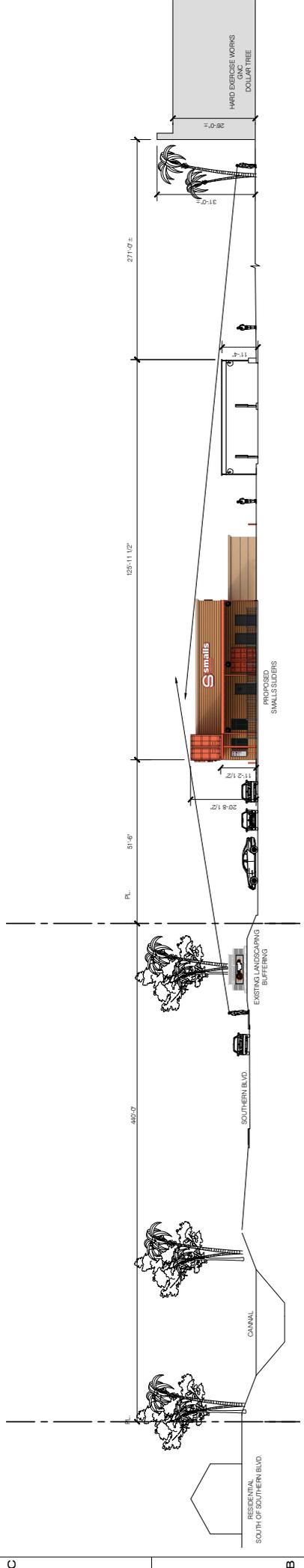
VISUAL IMPACT
ANALYSIS

REVISIONS	PROJECT NO.	AA 241171
NO. DATE	SHEET	VIA-1
		SHEET 1 OF 4

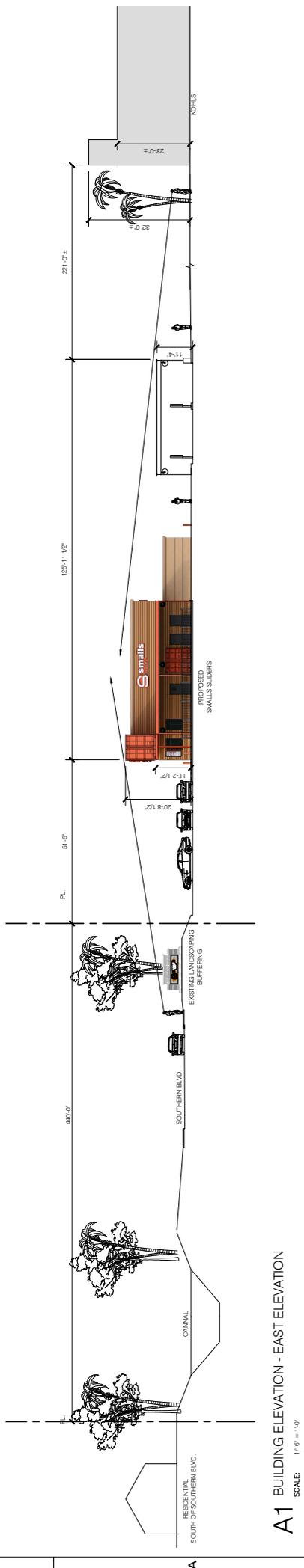
DATE 02-24-25



D1 BUILDING ELEVATION - EAST ELEVATION
SCALE: 1/16" = 1'-0"



B1 BUILDING ELEVATION - EAST ELEVATION
SCALE: 1/16" = 1'-0"



A1 BUILDING ELEVATION - EAST ELEVATION
SCALE: 1/16" = 1'-0"



SHOPPES AT
SOUTHERN PALMS
PALM BEACH COUNTY, FLORIDA

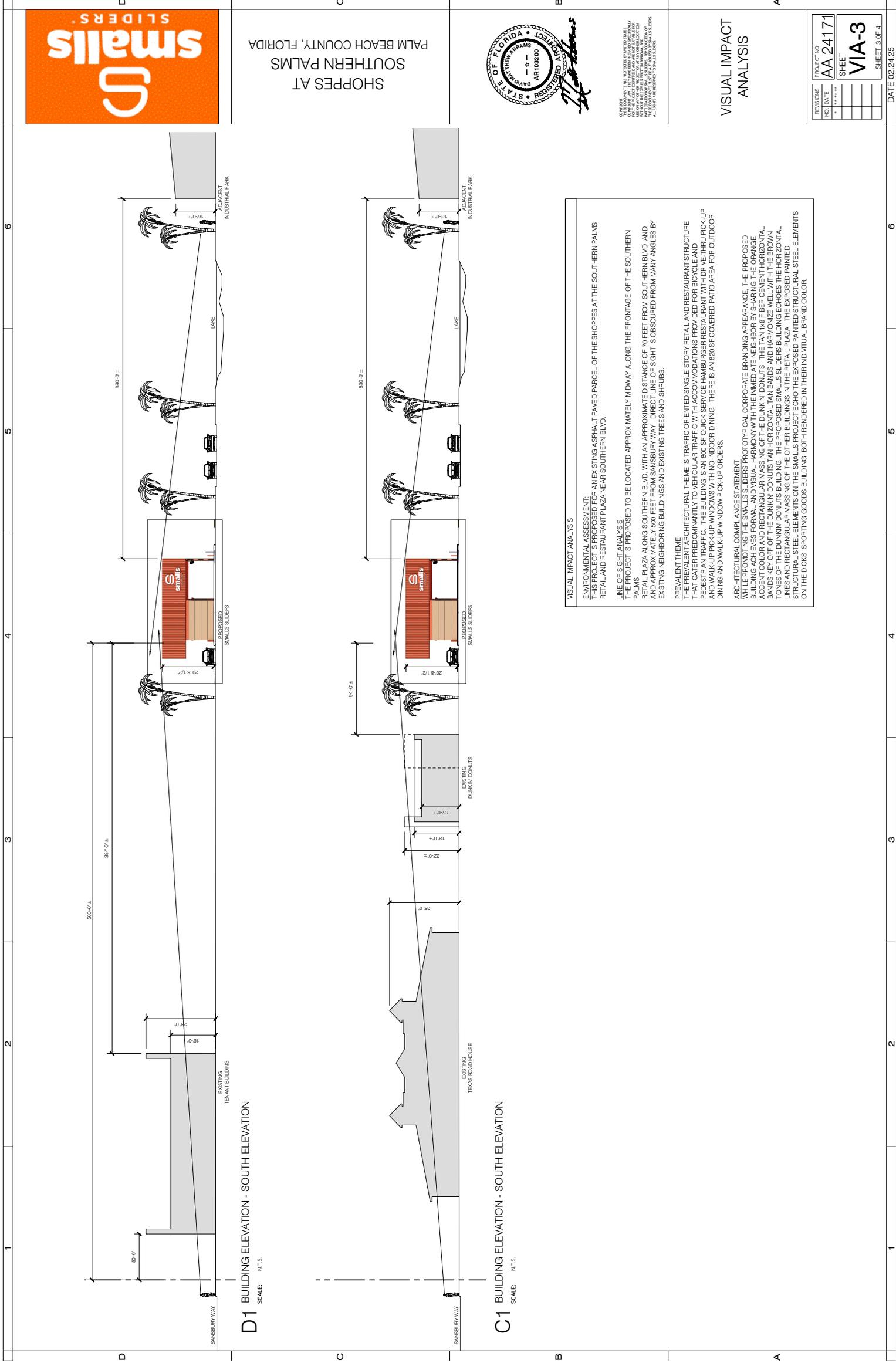


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VISUAL IMPACT ANALYSIS

REVISIONS	PROJECT NO:
NO	AA 24171
DATE	SHEET
•••••	VIA-2
	SHEET 2 OF 4

DATE 02-24-25



D1 BUILDING ELEVATION - SOUTH ELEVATION
SCALE: N.T.S.

C1 BUILDING ELEVATION - SOUTH ELEVATION
SCALE: N.T.S.

VISUAL IMPACT ANALYSIS

ENVIRONMENTAL ASSESSMENT:
THIS PROJECT IS PROPOSED FOR AN EXISTING ASPHALT PAVED PARCEL OF THE SHOPPES AT THE SOUTHERN PALMS RETAIL AND RESTAURANT PLAZA NEAR SOUTHERN BLVD.

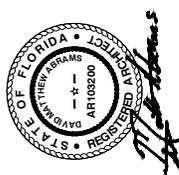
LINE OF SIGHT ANALYSIS:
THE PROJECT IS PROPOSED TO BE LOCATED APPROXIMATELY MIDWAY ALONG THE FRONTAGE OF THE SOUTHERN PALMS RETAIL PLAZA ALONG SOUTHERN BLVD. WITH AN APPROXIMATE DISTANCE OF 70 FEET FROM SOUTHERN BLVD. AND APPROXIMATELY 500 FEET FROM SANSBURY WAY. DIRECT LINE OF SIGHT IS OBSCURED FROM MANY ANGLES BY EXISTING NEIGHBORING BUILDINGS AND EXISTING TREES AND SHRUBS.

PREVALENT THEME:
THE PREVALENT ARCHITECTURAL THEME IS TRAFFIC ORIENTED SINGLE STORY RETAIL AND RESTAURANT STRUCTURE THAT CATER PREDOMINANTLY TO VEHICULAR TRAFFIC WITH ACCOMMODATIONS PROVIDED FOR BICYCLE AND PEDESTRIAN TRAFFIC. THE BUILDING IS AN 800 SF QUICK SERVICE HAMBURGER RESTAURANT WITH DRIVE-THRU PICKUP AREA AND WALK-UP WINDOW PICK-UP ORDERS.

ARCHITECTURAL COMPLIANCE STATEMENT:
WHILE PROMOTING THE SMALLS SLIDERS PROTOTYPICAL CORPORATE BRANDING APPEARANCE, THE PROPOSED BUILDING ACHIEVES FORMAL AND VISUAL HARMONY WITH THE IMMEDIATE NEIGHBOR BY SHAPING THE ORANGE ACCENT COLOR AND RECTANGULAR MASSING OF THE DUNKIN' DONUTS. THE TAN 1X8 FIBER CEMENT HORIZONTAL BANDS KEY OFF OF THE DUNKIN' DONUTS TAN HORIZONTAL TAN BANDS AND HARMONIZE WELL WITH THE BROWN TONES OF THE DUNKIN' DONUTS BUILDING. THE PROPOSED SMALLS SLIDERS BUILDING ECHOES THE HORIZONTAL LINES AND MATERIALS OF THE DUNKIN' DONUTS BUILDING. THE PROPOSED BUILDING IS PAINTED WITH PAINTED STRUCTURAL STEEL ELEMENTS ON THE SANSBURY SIDE, THE EXPOSED PAINTED STRUCTURAL STEEL ELEMENTS ON THE DICKS' SPORTING GOODS BUILDING, BOTH RENDERED IN THEIR INDIVIDUAL BRAND COLOR.



SHOPPES AT
SOUTHERN PALMS
PALM BEACH COUNTY, FLORIDA



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VISUAL IMPACT ANALYSIS

REVISIONS	PROJECT NO:	AA 24171
NO	DATE	
1	DATE	
2	DATE	
3	DATE	
4	DATE	
5	DATE	
6	DATE	
7	DATE	
8	DATE	
9	DATE	
10	DATE	

SHEET
VIA-3
SHEET 3 OF 4

REVISIONS	NO.	DATE	BY

PROJECT NO: AA 24171

SHEET VIA-4

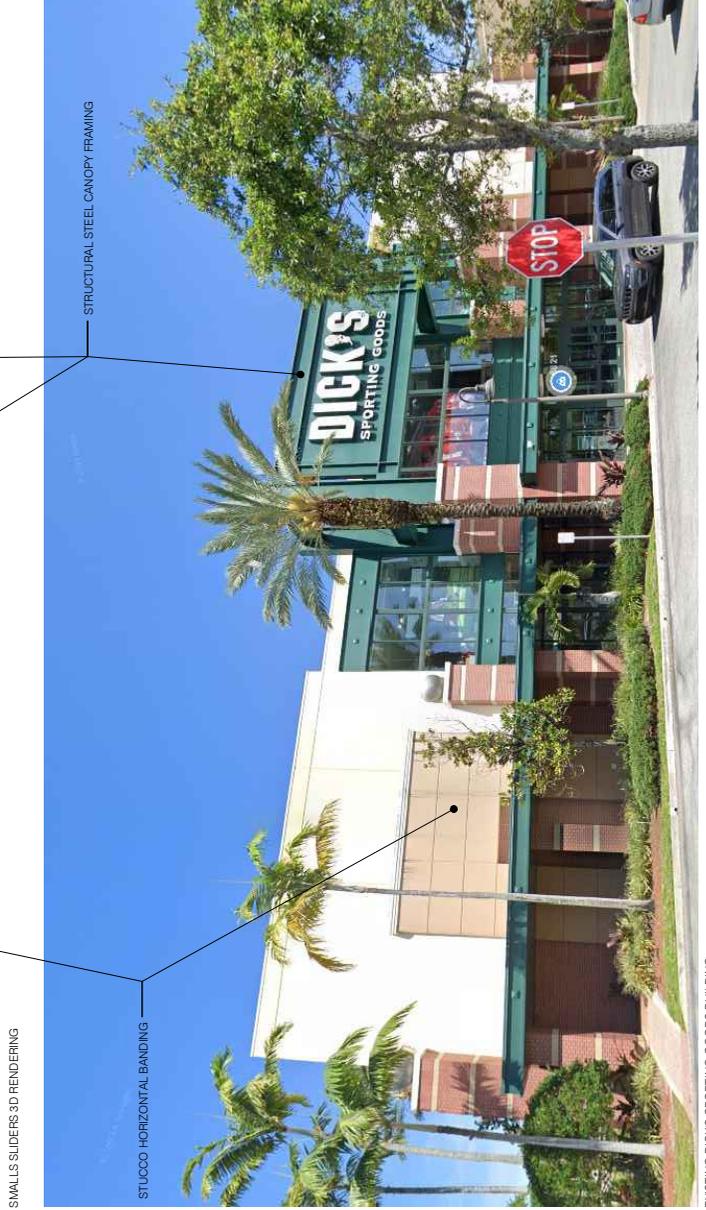
SHEET 4 OF 4

VISUAL IMPACT ANALYSIS

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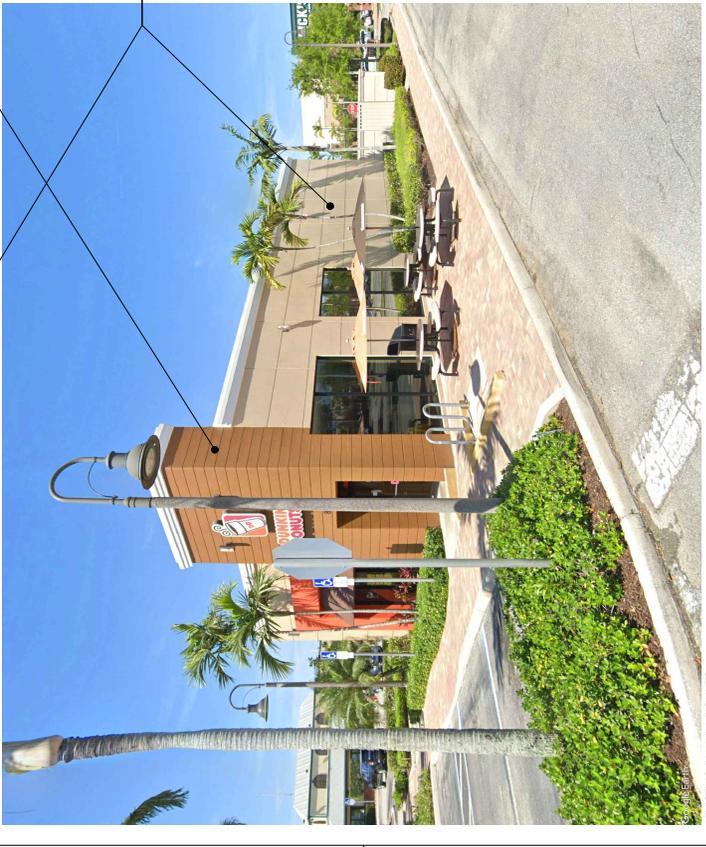
SHOPPES AT SOUTHERN PALMS PALM BEACH COUNTY, FLORIDA



SMALLS SLIDERS 3D RENDERING



EXISTING DICKS SPORTING GOODS BUILDING



EXISTING DUNKIN' DONUTS



PARAPET TOP CAP

VERTICAL FIBER CEMENT RAINSCREEN OVER SHIPPING CONTAINER WALLS

STUCCO HORIZONTAL BANDED OPEN AIR WALK-IN-COOLER ENCLOSURE WALLS

FIBER CEMENT HORIZONTAL BANDING

STRUCTURAL STEEL CANOPY FRAMING

STUCCO HORIZONTAL BANDING

6

5

4

3

2

1

D

C

B

A

PROJECT NO.	AA 24171
NO. DATE	1 11/24/24
REVISIONS	
SHEET	VIA-5
SHEET	4 OF 4

VISUAL IMPACT ANALYSIS

THESE DOCUMENTS ARE PROTECTED BY APPLICABLE STATE AND FEDERAL LAWS. ANY REPRODUCTION OR TRANSMISSION OF THESE DOCUMENTS WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE ARCHITECT IS STRICTLY PROHIBITED. THE ARCHITECT ASSUMES NO LIABILITY FOR THE ACCURACY OF THE INFORMATION CONTAINED HEREIN.



SHOPPES AT
SOUTHERN PALMS
PALM BEACH COUNTY, FLORIDA



SMALLS SLIDERS 3D RENDERING



EXISTING DUNKIN' DONUTS



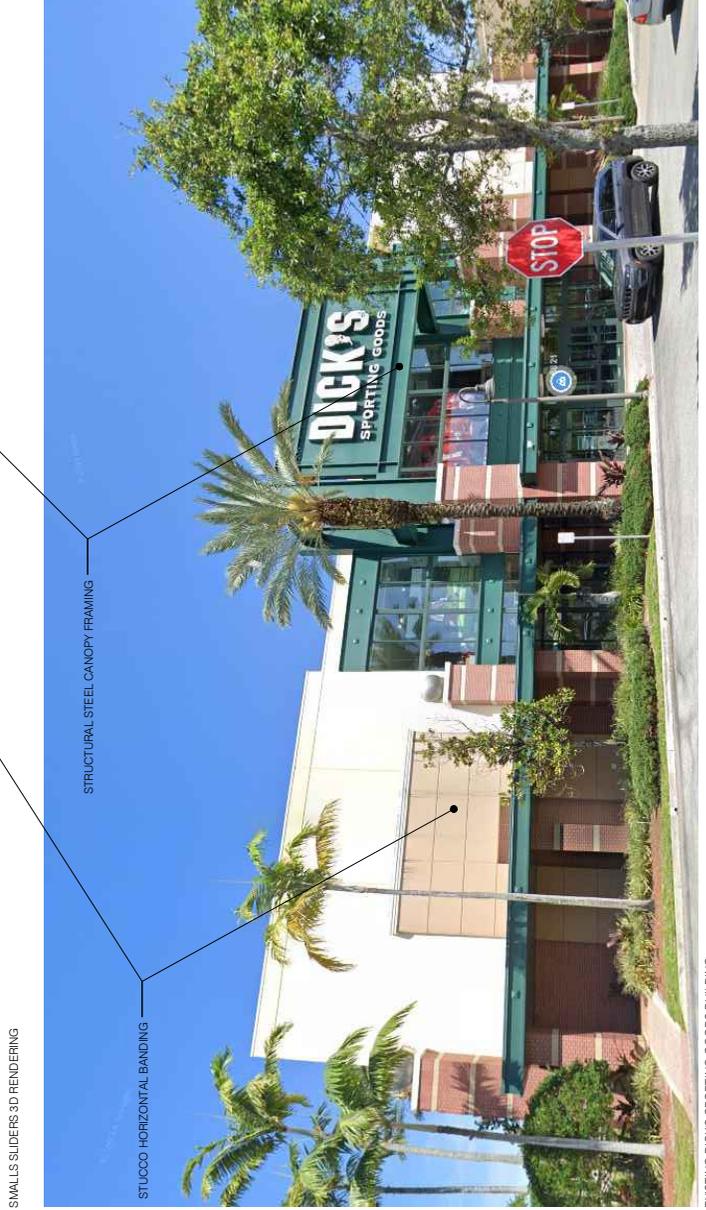
REVISIONS	PROJECT NO.	AA 24171
	DATE	
	SHEET	VIA-6
		SHEET 4 OF 4

VISUAL IMPACT ANALYSIS

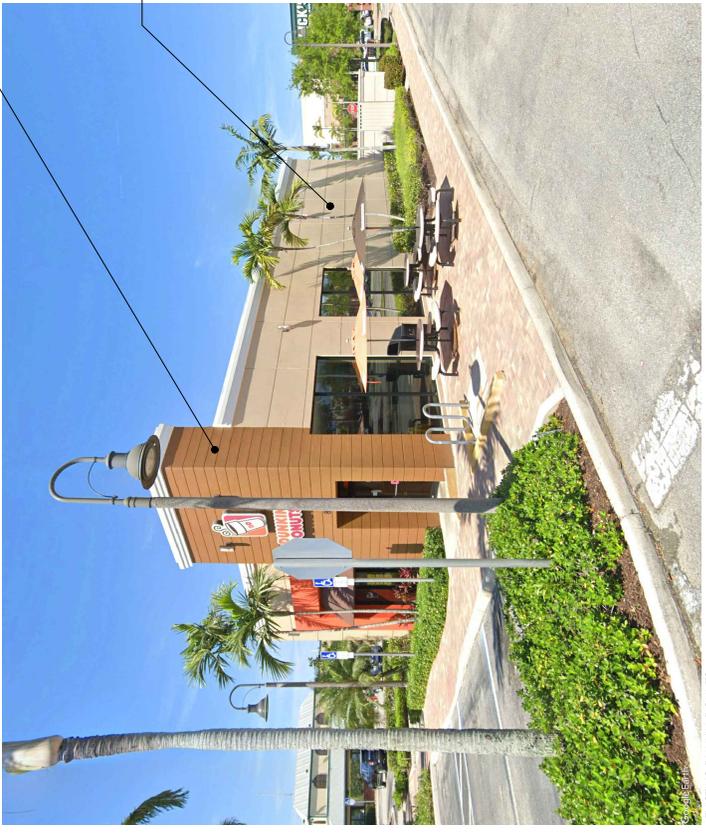
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SHOPPES AT
SOUTHERN PALMS
PALM BEACH COUNTY, FLORIDA



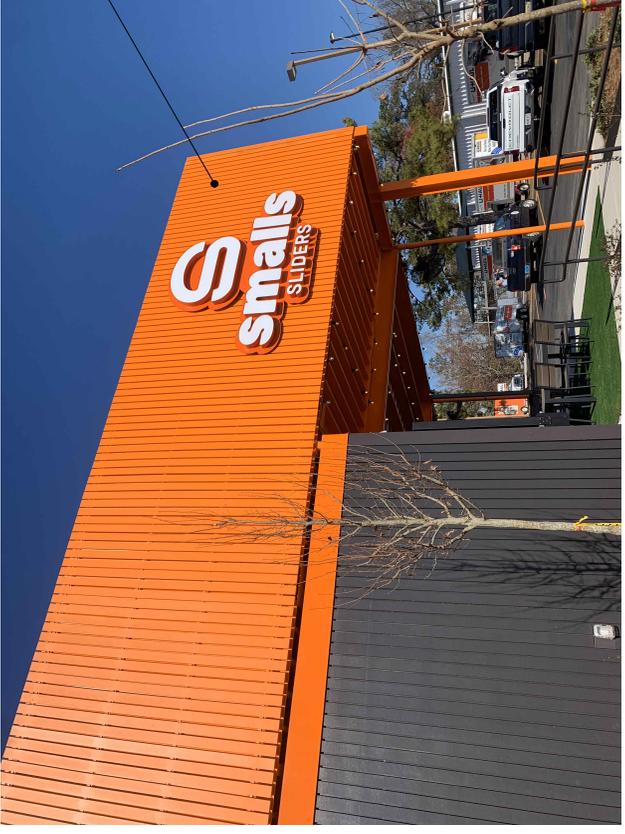
SMALLS SLIDERS 3D RENDERING



EXISTING DUNKIN' DONUTS



- VERTICAL FIBER CEMENT RAINSCREEN COVER SHIPPING CONTAINER WALLS
- HORIZONTAL ACCENT BANDING
- STUCCO HORIZONTAL BANDED OPEN AIR WALK-IN-COOLER ENCLOSURE WALLS
- FIBER CEMENT HORIZONTAL BANDING



EXISTING SMALLS SLIDERS IN AUBURN, AL

EXISTING DICKS SPORTING GOODS BUILDING

STRUCTURAL STEEL CANOPY FRAMING

STUCCO HORIZONTAL BANDING

1

2

3

4

5

6

1

2

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4

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6

D

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B

A

Exhibit E.6 – Previously Approved Final Site Plan

NOTES:
TRAFFIC INFORMATION HAS BEEN PROVIDED BY KIMLEY-HORN & ASSOCIATES, INC. DATED 5-15-2015
IT IS THE INTENT OF THE DEVELOPER TO SUBMIT UTILIZING THE PLATING EXEMPTION OF UDC ART. 11.A.6.B. USE SHEETS 59-2)

ZONING DISTRICT	MINIMUM LOT DIMENSIONS	FAR	BLDG. COVER	FRONT SETBACK	REAR SETBACK
REQ'D	5 AC	30%	2-22	30'	30'
PROPOSED	24.95	1,200.00*	87.27	20	195

*PURSUANT TO ORDINANCE 2004-029, THE MAXIMUM ALLOWABLE FAR FOR THE SITE IS 22.

MUPD PROPERTY DEVELOPMENT REGULATIONS	MINIMUM LOT DIMENSIONS	FAR	BLDG. COVER	FRONT SETBACK	REAR SETBACK
REQ'D	5 AC	30%	2-22	30'	30'
PROPOSED	24.95	1,200.00*	87.27	20	195

UIC SECTION	REQUIRED	PROPOSED	VARIANCE
Table 8 C1.A.4	25 SF (Maximum sign area per linear foot along the side of a street)	195.2 SF (Area of Sign)	To allow wall signage on East side of building which does not face a street.
Table 8 C1.A.4	25 SF (Maximum sign area per linear foot along the side of a street)	195.2 SF (Area of Sign)	To allow wall signage on East side of building which does not face a street.
Article 8 F.3	Continuous wall is allowed to project no more than 12" in any direction	Continuous wall is allowed to project no more than 12" in any direction	Continuous wall is allowed to project no more than 12" in any direction for purposes of calculating signage area.

UIC SECTION	REQUIRED	PROPOSED	VARIANCE
Table 8 C1.A.4	25 SF (Maximum sign area per linear foot along the side of a street)	195.2 SF (Area of Sign)	To allow wall signage on East side of building which does not face a street.
Table 8 C1.A.4	25 SF (Maximum sign area per linear foot along the side of a street)	195.2 SF (Area of Sign)	To allow wall signage on East side of building which does not face a street.

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Table 8 C1.A.4	25 SF (Maximum sign area per linear foot along the side of a street)	195.2 SF (Area of Sign)	To allow wall signage on East side of building which does not face a street.

bdg architects
1011 1/2 Ave North
Suite 100
Birmingham, AL 35203
Tel: 205-955-4529
Fax: 205-955-4530
W: www.bdgpl.com

TEXAS REGISTERED ARCHITECTS

SHOPPES AT SOUTHERN PALMS WEST PALM BEACH, FLORIDA

Site Location Map showing the project site within the context of the surrounding area, including major roads like I-95 and US-1.

Site Data

Name of Development: Shoppes at Southern Palms
Application No: ZAR-2022-01428
Project No: 0579-00
Resolution No(s): R-2015-1761, R-2015-1762
Type: U/S Tier
Future Land Use Designation: CH/NDP
Existing Zoning District: MUPD
Property Control Number: 00-42-48-52-11-001-0010
00-42-48-52-11-001-0020
00-42-48-52-11-001-0030
00-42-48-52-11-001-0040
00-42-48-52-11-001-0050
00-42-48-52-11-001-0060
00-42-48-52-11-001-0070

Existing Uses(s): Commercial Shopping Center
Proposed Use(s): Commercial Shopping Center
Gross Site Area: (666,867 s.f.)

Building Data

Existing	Approved	Provided
Total Square Footage	200,921 SF	215,702 SF
Building A (Retail)	92,396 SF	92,396 SF
Building B (Retail)	16,450 SF	16,450 SF
Building C (Retail)	80,000 SF	80,000 SF
Building D (Retail)	12,000 SF	12,000 SF
Building E (Retail)	7,628 SF	7,628 SF
Building F (Retail)	N/A	2,579 SF
Building G (Retail)	N/A	4,414 SF
Mezz. Maintenance Room	75 SF	75 SF
FAR (Max. 22)		20

Building Data

Consistency Calculations:
Type I Restaurant - 2,100 SF (40 Seats)
Type II Restaurant - 8,188 SF (123 Seats)
Type III Restaurant - 1,734 SF (21 Seats)
Automatic Car Wash - 4,414 SF

Consistency is checked for the above uses and amounts shown below:

Parking Data

Min. Allowed	Max. Allowed	Provided
864 Spaces	1,293 Spaces	1,043 Spaces
21 Spaces	21 Spaces	21 Spaces
9 Spaces	9 Spaces	9 Spaces
		875

Handicap Parking: 21 Spaces
Loading Spaces: 9 Spaces
TAZ: 875
Building Height: Max. 35' Height

Amendment Stamps

ZAR 2014-2381 01-02-2015 LD
ZAR 2015-0950 06-24-2015 DSG
ZAR 2015-1734 08-25-2015 DSG
ZAR 2016-0237 03-09-2016 DSG
ZAR 2016-1609 10-21-2016 AM
ZAR 2018-0343 03-01-2018 AD
ZAR 2019-0281 02-08-2019 JO
ZAR 2019-0302 04-25-2019 DP
ZAR 2022-1428 07-11-2023 BM
ZAR 2023-1213 10-30-2023 BM

PROJECT INFORMATION BLOCK

JOB #:
DATE: 01/19/18
DRAWN BY: BCF
CHECKED BY: BCF
SHEET TITLE: FINAL SITE PLAN
SHEET NUMBER: FSP 1 OF 2

PROJECT #: 05779-000
CONTROL #: 2007-00018
APPLICATION #: 2013-3110
RESOLUTION #: R-2013-1761, R-2013-1762
EXHIBIT #: 25 (1/2)
SUPERSEDES #: 22 (1/2)
DATE APPROVED: 02-12-2014
PROJECT MANAGER: D.G. MCGUIRE

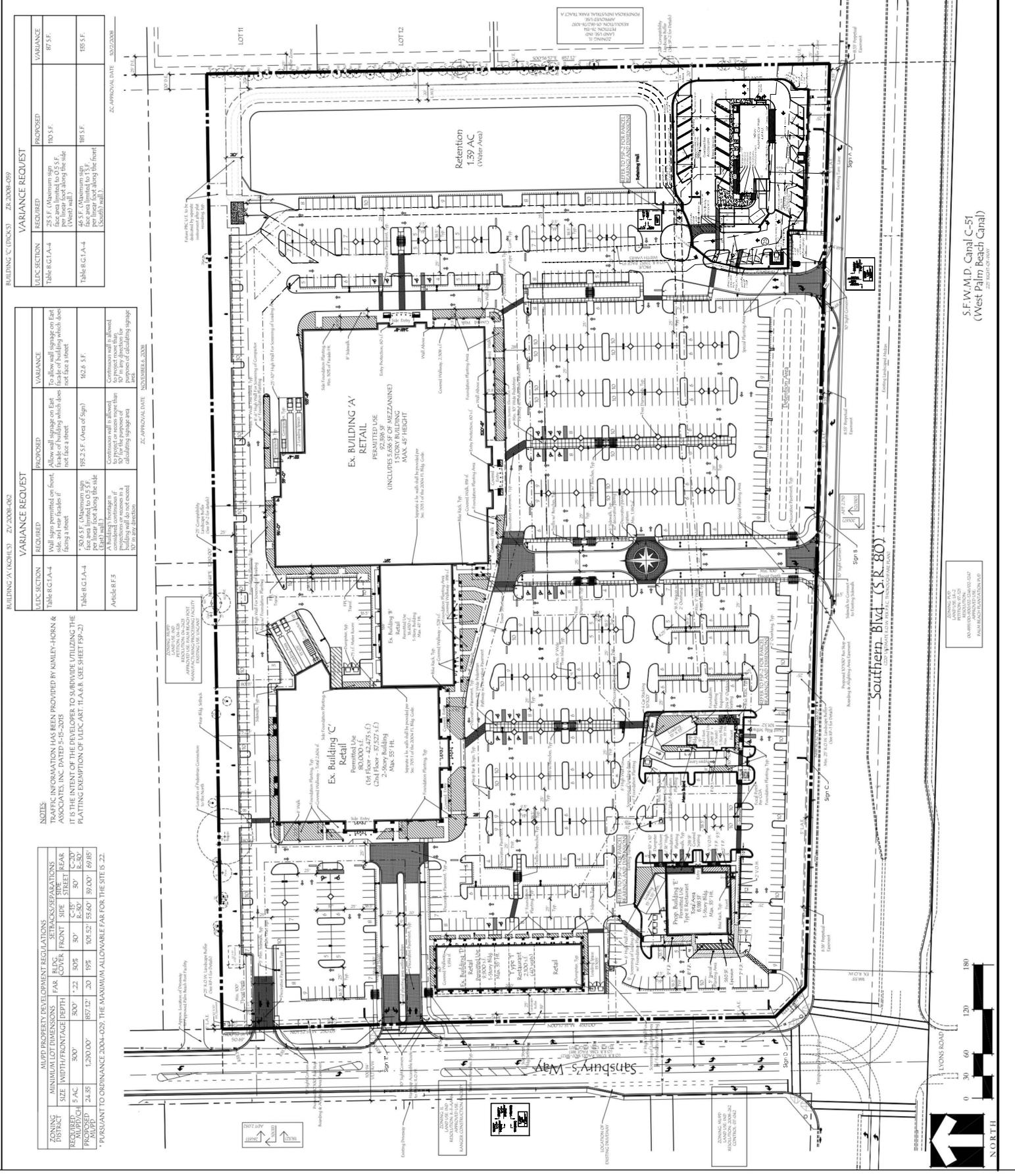


Exhibit E.7 - Disclosure

DISCLOSURE OF OWNERSHIP INTERESTS – APPLICANT

[TO BE COMPLETED AND EXECUTED ONLY WHEN THE APPLICANT IS NOT THE OWNER OF THE SUBJECT PROPERTY]

TO: PALM BEACH COUNTY PLANNING, ZONING AND BUILDING EXECUTIVE DIRECTOR, OR HIS OR HER OFFICIALLY DESIGNATED REPRESENTATIVE

STATE OF FLORIDA
COUNTY OF PALM BEACH

BEFORE ME, the undersigned authority, this day personally appeared Todd Severson, hereinafter referred to as "Affiant," who being by me first duly sworn, under oath, deposes and states as follows:

1. Affiant is the [] individual or [x] Manager *[position—e.g., president, partner, trustee]* of PWR Management, LLC *[name and type of entity - e.g., ABC Corporation, XYZ Limited Partnership]*, (hereinafter, "Applicant"). Applicant seeks Comprehensive Plan amendment or Development Order approval for real property legally described on the attached Exhibit "A" (the "Property").
2. Affiant's address is: 12357 SW LAGUNA REEF DRIVE
Port St. Lucie, FL 34987
3. Attached hereto as Exhibit "B" is a complete listing of the names and addresses of every person or entity having a five percent or greater interest in the Applicant. Disclosure does not apply to an individual's or entity's interest in any entity registered with the Federal Securities Exchange Commission or registered pursuant to Chapter 517, Florida Statutes, whose interest is for sale to the general public.
4. Affiant acknowledges that this Affidavit is given to comply with Palm Beach County policy, and will be relied upon by Palm Beach County in its review of Applicant's application for Comprehensive Plan amendment or Development Order approval. Affiant further acknowledges that he or she is authorized to execute this Disclosure of Ownership Interests on behalf of the Applicant.
5. Affiant further acknowledges that he or she shall by affidavit amend this disclosure to reflect any changes to ownership interests in the Applicant that may occur before the date of final public hearing on the application for Comprehensive Plan amendment or Development Order approval.
6. Affiant further states that Affiant is familiar with the nature of an oath and with the penalties provided by the laws of the State of Florida for falsely swearing to statements under oath.
7. Under penalty of perjury, Affiant declares that Affiant has examined this Affidavit and to the best of Affiant's knowledge and belief it is true, correct, and complete.

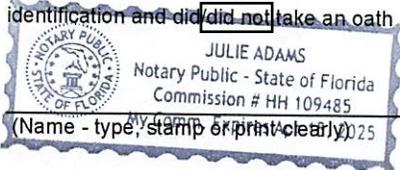


Todd Severson, Affiant
(Print Affiant Name)

NOTARY PUBLIC INFORMATION:

STATE OF FLORIDA
COUNTY OF PALM BEACH

The foregoing instrument was acknowledged before me by means of physical presence or
 online notarization, this 18 day of NOV., 20 24 by
Todd Severson (name of person acknowledging). He/she is personally
known to me or has produced F+DL-SIG2506 762510exp. 7/14/25 (type of identification) as
identification and did not take an oath (circle correct response).



(Signature)

My Commission Expires on: 04/15/25

NOTARY'S SEAL OR STAMP

EXHIBIT "A"

PROPERTY

LEGAL DESCRIPTION

A PORTION OF TRACT A "SOUTHERN / SANSBURY'S MUPD", ACCORDING
TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 111 AT PAGES
66 AND 67 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

SAID LANDS SITUATE IN PALM BEACH COUNTY, FLORIDA.

DISCLOSURE OF OWNERSHIP INTERESTS – APPLICANT

[TO BE COMPLETED AND EXECUTED ONLY WHEN THE APPLICANT IS NOT THE OWNER OF THE SUBJECT PROPERTY]

TO: PALM BEACH COUNTY PLANNING, ZONING AND BUILDING EXECUTIVE DIRECTOR, OR HIS OR HER OFFICIALLY DESIGNATED REPRESENTATIVE

STATE OF FLORIDA
COUNTY OF PALM BEACH

BEFORE ME, the undersigned authority, this day personally appeared Todd Severson, hereinafter referred to as "Affiant," who being by me first duly sworn, under oath, deposes and states as follows:

1. Affiant is the [] individual or [x] Manager *[position—e.g., president, partner, trustee]* of PWR Management, LLC *[name and type of entity - e.g., ABC Corporation, XYZ Limited Partnership]*, (hereinafter, "Applicant"). Applicant seeks Comprehensive Plan amendment or Development Order approval for real property legally described on the attached Exhibit "A" (the "Property").
2. Affiant's address is: 12357 SW LAGUNA REEF DRIVE
Port St. Lucie, FL 34987
3. Attached hereto as Exhibit "B" is a complete listing of the names and addresses of every person or entity having a five percent or greater interest in the Applicant. Disclosure does not apply to an individual's or entity's interest in any entity registered with the Federal Securities Exchange Commission or registered pursuant to Chapter 517, Florida Statutes, whose interest is for sale to the general public.
4. Affiant acknowledges that this Affidavit is given to comply with Palm Beach County policy, and will be relied upon by Palm Beach County in its review of Applicant's application for Comprehensive Plan amendment or Development Order approval. Affiant further acknowledges that he or she is authorized to execute this Disclosure of Ownership Interests on behalf of the Applicant.
5. Affiant further acknowledges that he or she shall by affidavit amend this disclosure to reflect any changes to ownership interests in the Applicant that may occur before the date of final public hearing on the application for Comprehensive Plan amendment or Development Order approval.
6. Affiant further states that Affiant is familiar with the nature of an oath and with the penalties provided by the laws of the State of Florida for falsely swearing to statements under oath.
7. Under penalty of perjury, Affiant declares that Affiant has examined this Affidavit and to the best of Affiant's knowledge and belief it is true, correct, and complete.

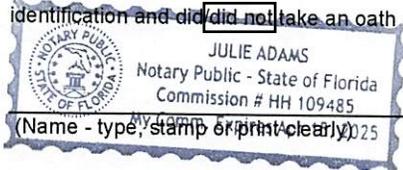


Todd Severson, Affiant
(Print Affiant Name)

NOTARY PUBLIC INFORMATION:

STATE OF FLORIDA
COUNTY OF PALM BEACH

The foregoing instrument was acknowledged before me by means of physical presence or
 online notarization, this 18 day of NOV., 20 24 by
Todd Severson (name of person acknowledging). He/she is personally
known to me or has produced F+DL-SIG2506 762510exp. 7/14/25 (type of identification) as
identification and did not take an oath (circle correct response).



(Signature)

My Commission Expires on: 04/15/25

NOTARY'S SEAL OR STAMP

EXHIBIT "A"

PROPERTY

LEGAL DESCRIPTION

A PORTION OF TRACT A "SOUTHERN / SANSBURY'S MUPD", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 111 AT PAGES 66 AND 67 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

SAID LANDS SITUATE IN PALM BEACH COUNTY, FLORIDA.

DISCLOSURE OF OWNERSHIP INTERESTS – PROPERTY

[TO BE COMPLETED AND EXECUTED BY THE PROPERTY OWNER(S) FOR EACH APPLICATION FOR COMPREHENSIVE PLAN AMENDMENT OR DEVELOPMENT ORDER]

TO: PALM BEACH COUNTY PLANNING, ZONING AND BUILDING EXECUTIVE DIRECTOR, OR HIS OR HER OFFICIALLY DESIGNATED REPRESENTATIVE

STATE OF FLORIDA
COUNTY OF PALM BEACH

BEFORE ME, the undersigned authority, this day personally appeared Milton Mekler, hereinafter referred to as "Affiant," who being by me first duly sworn, under oath, deposes and states as follows:

1. Affiant is the individual or Manager *[position - e.g., president, partner, trustee]* of Shoppes at Southern Palms, LLC *[name and type of entity - e.g., ABC Corporation, XYZ Limited Partnership]* that holds an ownership interest in real property legally described on the attached Exhibit "A" (the "Property"). The Property is the subject of an application for Comprehensive Plan amendment or Development Order approval with Palm Beach County.
2. Affiant's address is: 2199 PONCE DE LEON BOULEVARD, Suite 301
Coral Gables, FL 33134
3. Attached hereto as Exhibit "B" is a complete listing of the names and addresses of every person or entity having a five percent or greater interest in the Property. Disclosure does not apply to an individual's or entity's interest in any entity registered with the Federal Securities Exchange Commission or registered pursuant to Chapter 517, Florida Statutes, whose interest is for sale to the general public.
4. Affiant acknowledges that this Affidavit is given to comply with Palm Beach County policy, and will be relied upon by Palm Beach County in its review of application for Comprehensive Plan amendment or Development Order approval affecting the Property. Affiant further acknowledges that he or she is authorized to execute this Disclosure of Ownership Interests on behalf of any and all individuals or entities holding a five percent or greater interest in the Property.
5. Affiant further acknowledges that he or she shall by affidavit amend this disclosure to reflect any changes to ownership interests in the Property that may occur before the date of final public hearing on the application for Comprehensive Plan amendment or Development Order approval.
6. Affiant further states that Affiant is familiar with the nature of an oath and with the penalties provided by the laws of the State of Florida for falsely swearing to statements under oath.

7. Under penalty of perjury, Affiant declares that Affiant has examined this Affidavit and to the best of Affiant's knowledge and belief, it is true, correct, and complete.

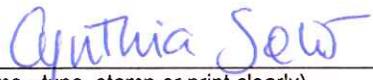
FURTHER AFFIANT SAYETH NAUGHT.


Milton Mekler, Affiant
(Print Affiant Name)

NOTARY PUBLIC INFORMATION:

STATE OF FLORIDA
COUNTY OF PALM BEACH

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 20 day of NOVEMBER, 2024 by MILTON MEKLER (name of person acknowledging). He/she is personally known to me or has produced FL DL (type of identification) as identification and did/did not take an oath (circle correct response).


(Name - type, stamp or print clearly)


(Signature)

My Commission Expires on: 03/27/28



EXHIBIT "A"**PROPERTY****MUPD LEGAL DESCRIPTION**

COMMENCING AT THE NORTHEAST CORNER OF SAID TRACT 34, BLOCK 7; THENCE S00°56'57"E. ALONG THE EAST LINE OF SAID TRACTS 34 AND 39, BLOCK 7, SAID LINE BEING THE WEST LINE OF PONDEROSA INDUSTRIAL PARK, AS RECORDED IN PLAT BOOK 34, PAGES 113 AND 114 OF SAID PUBLIC RECORDS, A DISTANCE OF 80.00 FEET TO THE NORTHEAST CORNER OF PARCEL "B" OF THE AFORESAID AFFIDAVIT OF WAIVER, AND THE POINT OF BEGINNING; THENCE CONTINUE ALONG THE AFORESAID LINE S00°56'57"E. A DISTANCE OF 857.12 FEET TO A POINT OF INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF STATE ROAD 80 (SOUTHERN BOULEVARD), AS SHOWN ON THE FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY MAP SECTION 93120-2543, DATED 1-19-01, SAID RIGHT OF WAY LINE DESCRIBED IN OFFICIAL RECORD BOOK 19900, PAGES 882 THROUGH 890 OF SAID PUBLIC RECORDS; THENCE N88°30'32"W. ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 739.21 FEET; THENCE N75°02'27"W. ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 50.71 FEET; THENCE N88°30'32"W. ALONG SAID RIGHT-OF-WAY LINE A DISTANCE OF 458.90 FEET; THENCE N44°44'51"W. ALONG THE EAST RIGHT-OF-WAY LINE OF SANSBURY WAY, AS RECORDED IN OFFICIAL RECORD BOOK 17785, PAGES 1807 THROUGH 1812 OF SAID PUBLIC RECORDS, A DISTANCE OF 57.92 FEET; THENCE N00°57'31"W. ALONG SAID EAST RIGHT-OF-WAY LINE, A DISTANCE OF 450.00 FEET; THENCE N01°52'31"W. ALONG SAID EAST RIGHT-OF-WAY LINE, A DISTANCE OF 250.03 FEET; THENCE N00°57'31"W. ALONG SAID EAST RIGHT-OF-WAY LINE, A DISTANCE OF 50.69 FEET; THENCE N89°03'48"W. ALONG A LINE 80 FEET SOUTH OF (AS MEASURED AT RIGHT ANGLES TO) AND PARALLEL WITH THE NORTH LINE OF SAID TRACTS 33 AND 34, BLOCK 7, SAID LINE BEING THE NORTH LINE OF PARCEL "B" OF THE AFORESAID AFFIDAVIT OF WAIVER, A DISTANCE OF 1,290.00 FEET TO THE POINT OF BEGINNING.
CONTAINING 1,060,867 SQUARE FEET OR 24.354 ACRES, MORE OR LESS.

EXHIBIT "B"

DISCLOSURE OF OWNERSHIP INTERESTS - PROPERTY

Affiant must identify all entities and individuals owning five percent or more ownership interest in the Property. Affiant must identify individual owners. For example, if Affiant is an officer of a corporation or partnership that is wholly or partially owned by another entity, such as a corporation, Affiant must identify the other entity, its address, and the individual owners of the other entity. Disclosure does not apply to an individual's or entity's interest in any entity registered with the Federal Securities Exchange Commission or registered pursuant to Chapter 517, Florida Statutes, whose interest is for sale to the general public.

Name

Address

- Shopper at Southern Palms Corp
2199 Ponce de Leon Blvd. Suite 301
Coral Gables, FL 33134

Exhibit E.8 - Drainage Statement

July 9, 2025

Smalls Sliders – Southern Palms Plaza **Drainage Statement**

OVERVIEW:

The proposed project is located in the Shoppes at Southern Palms Plaza shopping center at the northeast corner of Sandsbury's Way and Southern Blvd. in unincorporated Palm Beach County. The development will occupy approximately 0.56 Ac. of the existing parking lot within the shopping center. The proposed development includes a 793 sf drive-thru restaurant along with the associated drive aisles and parking. The project's drainage system will be a part of the master system for the shopping center which has a legal positive outfall to the LWDD L-4 canal. The project is also within a FEMA designated flood zone AE with a Base Flood Elevation of 14.50' NAVD.

PROPOSED DESIGN:

The project will be required to meet the SFWMD water quality and quantity requirements. As the site is currently a parking lot and is paved, the redevelopment will provide more green space within the parcel and will reduce the runoff and water quality requirements. Other than re-routing one of the existing pipes and providing new inlets and conveyance pipes to tie into the existing system, no additional drainage improvements will be required. The shopping center's drainage design is a combination of exfiltration trench along with a dry detention area and a pond located at the northeast corner of the shopping center.

A perimeter berm has been set under the master permit for the shopping center and will not be impacted by the proposed development. Due to the reduction in impervious area the existing 25yr-3day storm event peak stage will not be exceeded. The minimum pavement grade and the F.F.E will be at or above the minimum grades established in the master permit.

REQUIRED DRAINAGE PERMITS

Below is a list of agencies from which permits will be required for the proposed drainage design:

1. South Florida Water Management District ERP modification
2. PBC Building Division- Stormwater Permitting Section

CONCLUSION

The proposed development will be in compliance with the storm water criteria set forth in master permit for the shopping center. The project will reduce the overall impervious area within the shopping center. Given the above, the proposed development will not adversely impact the existing shopping center or the surrounding properties.

Exhibit E.9 - Utility Letter



Letter for
Concurrency Reservation

To: Zoning Division
PBC Planning, Zoning, & Building Department

From: Ebony M. Foreman, Director
Finance and Administration
PBC Water Utilities Department

Date: March 3, 2025 Control # 00260

Re: PZ&B Application #: DOA/CA-2024-01790
Project Name – Smalls Sliders at Southern Palms

The Palm Beach County Water Utilities Department is willing and able to provide the following utility service(s) to the property identified below, and will reserve the indicated utility capacity, in Equivalent Residential Connections (ERCs), for a period not to exceed five (5) years from the date of this letter:

<u>Service Type</u>	<u>Capacity (in ERCs)</u>
Potable Water	5.8
Wastewater	5.8
Reclaimed Water	N/A

An Equivalent Residential Connection represents a system capacity equivalency unit that corresponds to the peak design demand of the 5/8 x 3/4 inch meter sub-category of customer usage. This system capacity equivalency unit is utilized to establish the system demand for various sized connections for the purpose of assessing fees and designing the capacity of capital facilities.

The above capacity is reserved for the following property:

00-42-43-32-11-001-0010

Before the five (5) year period expires, the Developer must pay all Service Initiation Fees and connect to the Department’s facilities, or for projects greater than 18.3 ERCs, enter into a Standard or Non-Standard Development Agreement to maintain this capacity reservation. This memorandum does not represent a contract for service, and the Developer remains obligated to meet all of the requirements of the Water Utilities Department prior to obtaining utility service.

Approved By: *Ebony M. Foreman*
Director of Finance & Administration

Date: 3 Mar - 25

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